

Municipal District of Pincher Creek No. 9
MUNICIPAL PLANNING COMMISSION
MD of Pincher Creek Council Chambers
May 6th 2025
6:30 pm
Agenda

1. Adoption of Agenda

2. Minutes

- a. Meeting Minutes of April 1st, 2025

3. Closed Meeting Session

4. Unfinished Business

5. Development Permit Applications

- a. Development Permit Application No. 2025-09
Glenda Kettles o/a Dam Campground
Block OT; Plan 2420JK within NE 27-4-28 W4
Recreational Accommodation – Commercial Highway & Accessory Building
- b. Development Permit Application No. 2025-10
Link Builders for Kristopher Tillack
Lot 1, Block 1, Plan 2410864 within NW 35-5-28 W4
Single Detached Residence & Garden Suite
- c. Development Permit Application No. 2025-19
Dave & Sandra Dalzell
Lot 16;15;; within NE 1-5-30 W4
Secondary Farm Residence
- d. Development Permit Application No. 2025-21
Daniel Desabrais
Lot 4, Block 1, Plan 1612164 within NW 26-7-2 W5
Moved-In Residential Building

6. Development Reports

- a. Development Officer's Report
 - Report for April 2025

7. New Business

- a. Recreational Accommodation, Family

8. Correspondence

- a. **ORRSC Periodical Spring 2025**

9. Next Regular Meeting – June 3rd, 2025

10. Adjournment

**Meeting Minutes of the
Municipal Planning Commission
April 1st, 2025 6:30 pm
MC of Pincher Creek Council Chambers**

ATTENDANCE

Commission: Chairperson Jeff Hammond, Member at Large Laurie Klassen, Reeve Rick Lemire,
Councillors Tony Bruder, Jim Welsch, Dave Cox and John MacGarva

Staff: CAO Roland Milligan, Development Officer Laura McKinnon

Planning
Advisor: ORRSC, Senior Planner Gavin Scott

Absent:

Chairperson Jeff Hammond called the meeting to order, the time being 6:30 pm.

1. ADOPTION OF AGENDA

Councillor Dave Cox 25/023

Moved that the agenda for April 1st, 2025, be approved as presented.

Carried

2. ADOPTION OF MINUTES

Councillor John MacGarva 25/024

Moved that the Municipal Planning Commission Meeting Minutes for March 4th, 2025 be approved as amended.

Carried

3. CLOSED MEETING SESSION

Councillor Jim Welsch 25/025

Moved that the Municipal Planning Commission close the meeting to the public, under the authority of the *Municipal Government Act*, Section 197(2.1), the time being 6:31 pm.

Carried

Reeve Rick Lemire 25/026

Moved that the Municipal Planning Commission open the meeting to the public, the time being 7:40 pm.

Carried

4. **UNFINISHED BUSINESS**

- a. **Development Permit 2024-42 – Court of Appeal – Decision & Discussion**

5. **DEVELOPMENT PERMIT APPLICATIONS**

- a. **Development Permit Application No. 2025-10**
Link Builders for Kristopher Tillack
Lot 1, Block 1, Plan 2410864 within NW 35-5-28 W4
Single Detached Residence & Garden Suite

Reeve Rick Lemire

25/027

Moved that Development Permit No. 2025-10, for a Single Detached Residence and change of use to Garden Suite, be tabled pending further information from the applicant regarding the Garden Suite use.

- b. **Development Permit Application No. 2025-12**
Kerry Smyke o/a Wood ‘n’ Stuff
Within ptn of NE 27-7-2 W5
Specialty Manufacturing/Cottage Industry, Minor

Councillor John MacGarva

25/028

Moved that Development Permit No. 2025-12, for Specialty Manufacturing/Cottage Industry, Minor, be denied subject to the following Reason(s):

Reason(s):

1. That, it is the opinion of the Municipal Planning Commission that the application does not meet the criteria of Section 18.10(b) of Land Use Bylaw 1349-23. Section 18.10(b) requires that “the municipal planning commission shall determine and make ruling on the proposed use as to its similarity to a permitted or discretionary use in the district”. As the requested land use for ‘firewood manufacturing and storage’ was not a listed use within the Agriculture – A district, the application was processed under the use ‘Specialty Manufacturing/Cottage Industry, Minor’. The Municipal Planning Commission does not deem the ‘firewood manufacturing and storage lot’ as similar to ‘Specialty Manufacturing/Cottage Industry, Minor’ given that the definition requires that the production of goods occur within a building. From the application, it was understood that the majority of the proposed use would be outdoors which is contrary to the defined use.

Informative(s):

1. Although the denial was based on Section 18.10(b) and need not be taken further, the MPC expressed additional concern about approval of this site given the proximity of the use to the Crowsnest River which is a Environmentally Significant Area with nationally significant trout fishery and drinking water source, given the location of the access on the downward slope of the highway

MINUTES
Municipal Planning Commission (MPC)
Municipal District of Pincher Creek No. 9
April 1st 2025

and lack of staking distance or turning lane to enter this site, and further that the nature of this use would generate considerable noise in proximity to the other residents in the vicinity of this site.

c. Development Permit Application No. 2025-13
Waldron Grazing Co-operative Ltd
NE 13-10-2 W4
Secondary Farm Residence

Councillor John MacGarva

25/029

Moved that Development Permit No. 2025-13, Secondary Farm Residence, be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions as required in Land Use Bylaw 1349-23.
2. That the applicant adhere to conditions set forth within the required Alberta Transportation Roadside Development Permit, to be attached to and form part of this permit.

Waiver(s):

1. That a waiver be granted from Land Use Bylaw 1349-23, Section 42.3 “one or more additional dwelling units may be located on a parcel provided that: (a) all such dwellings are secondary farm residences on a parcel that has an area greater than 32.4 ha(80 acres) and this use is a permitted or discretionary use in the applicable district” for a secondary farm residence on a 25.91 ha (64.03 ac) parcel.

d. Development Permit Application No. 2025-14
Kelly Neufeld
Lot 1, Plan 9111843 within NE 2 & SE 11-8-1 W5
Secondary Farm Residence

Councillor Jim Welsch

25/030

Moved that Development Permit No. 2025-14, Secondary Farm Residence, be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions as required in Land Use Bylaw 1349-23.
2. That the original residence be demolished or repurposed to accessory building once its current occupants are out.

6. DEVELOPMENT REPORT

a. Development Officer’s Report

MINUTES
Municipal Planning Commission (MPC)
Municipal District of Pincher Creek No. 9
April 1st 2025

Councillor Tony Bruder

25/031

Moved that the Development Officer's Report, for the period March 2025, be received as information.

Carried

7. CORRESPONDENCE

None

8. NEXT MEETING – May 6th, 2025; 6:30 pm.

9. ADJOURNMENT

Member at Large Laurie Klassen

25/032


Moved that the meeting adjourn, the time being 7:41 pm.

Carried

Chairperson Jeff Hammond
Municipal Planning Commission

Development Officer
Laura McKinnon
Municipal Planning Commission

Recommendation to Municipal Planning Commission

TITLE: DEVELOPMENT PERMIT No. 2025-09 Applicant: Glenda Kettles o/a Dam Campground Location: Block OT; Plan 2420JK within NE 27-4-28 W4 Division: 1 Size of Parcel: 62.24 ha (25.44 Acres) Zoning: Rural Recreation-1 (RR-1) Development: Recreational Accommodation, Commercial Highway & Accessory Building	
PREPARED BY: Laura McKinnon	DATE: May 1, 2025
DEPARTMENT: Planning and Development	
Signature: <div style="border-bottom: 1px solid black; width: 150px; margin-top: 10px;"></div>	ATTACHMENTS: 1. Development Permit Application 2025-09 2. GIS Site Plan 3. Letter from Applicant 4. Tree Planting Aerial 5. Adjacent Landowner Correspondence
APPROVALS:	
<div style="border-bottom: 1px solid black; width: 100%;"></div>	<div style="border-bottom: 1px solid black; width: 100%; text-align: center;"> Roland Milligan </div>
Department Director	CAO
Date	Date

RECOMMENDATION:

That the Development Authority rescind Development Permits 2023-16 and 2024-19

AND That Development Permit Application No. 2025-09, for 30 Seasonal Campsites and Accessory Buildings, be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions as required in Land Use Bylaw 1349-23.
2. That garbage storage is required to be in bear proof containers
3. That this development meets the National Building Code – Alberta Edition for Campground Washrooms requirements.
4. That the applicant adhere to conditions set forth within the required Alberta Transportation Roadside Development Permit, to be attached and form part of this permit.
5. That the campsites be organized as depicted in the site plan and that all trailers face in the same direction.
6. That each lot be limited to one accessory building for either storage or gazebo purposes, that does not exceed 9.29 m² (100 ft²).

Recommendation to Municipal Planning Commission

7. That this development is seasonal (May-October) and that the storage of RVs on site is prohibited

Informative(s):

1. That no further seasonal sites be permitted unless rezoning occurs.

BACKGROUND:

- On March 28, 2025, the MD accepted the Development Permit Application No. 2025-09 from applicant Glenda Kettles o/a The Dam Campground. (*Attachment No. 1*).
- This development has been in operation since 2023, starting at 12 seasonal lots (Development Permit 2023-16) and then an additional 10 lots in 2024 (Development Permit 2024-19). The applicant has reconfigured the site plan from 2024, to fit 8 final lots, which do border along Hwy 505 (*Attachment No. 2*)
- The applicant wrote a letter stating her reasons for increasing the number of lots to 30 (*Attachment No. 3*).
- The reasoning for rescinding permits 2023-16 and 2024-19 is to ensure that administration has a final tally and does not have to dig back historically to ensure the amount of lots are correct.
- This application is being placed in front of the MPC because:
 - Within the Rural Recreation 1 (RR-1) Land Use District, Recreational Accommodation, Highway Commercial is a Discretionary Use.
- The applicant is additionally asking for each lot to be allowed one (1) accessory building, to a maximum size of 9.29 m² (100ft²) for storage purposes, or to be used as an outdoor camp kitchen. Lease holders are responsible for all their own belongings and would be responsible for providing accessory building specs to the applicant.
- The applicant has planted a significant amount of trees, to shelter the sites from the wind and elements, but also created an esthetically pleasing campsite area (*Attachment No. 4*).
- The application was forwarded to the adjacent landowners for comment; five responses were received at the time of this report being written (*Attachment No. 5*).



Municipal District of Pincher Creek

P.O. Box 279

Pincher Creek, AB T0K 1W0

Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2025-09

Date Application Received 2025/02/13

PERMIT FEE \$100 Permitted
\$150 Discretionary

Date Application Accepted _____

RECEIPT NO. 65724

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government / other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9

SECTION 1: GENERAL INFORMATION

Applicant: GLENDIA KETZLES / DAM CAMPGROUND

Address: P.O. Box [REDACTED] PC. T0K 1W0

Telephone: 4[REDACTED] Email: [REDACTED]

Owner of Land (if different from above): BRENDA HEISLER

Address: P.O. Box 2823 PC. T0K 1W0 Telephone: [REDACTED]

Interest of Applicant (if not the owner): _____

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

INSTALL AN ADDITIONAL 10 LOTS
ALONG THE NORTH SIDE OF CAMP GROUND.

Legal Description: Lot(s) NE 27-428 W4

Block _____

Plan _____

Quarter Section _____

Estimated Commencement Date: APRIL 1ST 2025

Estimated Completion Date: MAY 30TH 2025

ACCESSORY BUILDING	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) % Site Coverage by Building (within Hamlets)			
(4) Front Yard Setback Direction Facing:			
(5) Rear Yard Setback Direction Facing:	NA		
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

SECTION 4: DEMOLITION

Type of building being demolished : _____

Area of size: _____

Type of demolition planned: _____

SECTION 5: SIGNATURES (both signatures required)

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

DATE: Feb 12, 2025

Glennda Kettles
Applicant

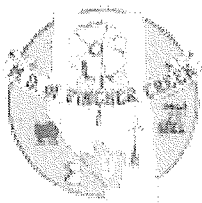
[Signature]
Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.









MD of Pincher Creek No. 9

P.O Box 279
1037 Herron Avenue
Pincher Creek Alberta T0K 1W0
(403) 627-3130
Website: www.mdpinchercreek.ab.ca
Email: info@mdpinnercreek.ab.ca

Glenda Kettles Dam Campground

PAYMENT RECEIPT

Receipt Number:	65724
Date:	2/13/2025
Initials:	KO
GST Registration #:	10747347RP

Receipt Type	Roll/Account	Description	QTY	Amount	Amount Owning
General	DEVE	Development Application Fees	N/A	\$150.00	\$0.00

Subtotal:	\$150.00
Discount:	\$0.00
GST	\$0.00
Total Receipt:	\$150.00

Cheque:	\$150.00
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Total Amount Received:	\$150.00
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3D

N ↑



HOST
LOT

March 10,2025

Hello council,

Thank you for considering my application for another 10 lots at the Dam Campground bringing our total to 30. This will complete the area that was zoned RR-1. We currently have no vacancy and a bit of a waiting list for more to become available. The majority of the lots we have now are occupied by residents of Pincher Creek and the MD. Adding 10 more lots will give availability to some families from out of town.

People are enjoying not having to pull their trailers every weekend and having a safe, secure place to enjoy their summers.

Thank you,

Glenda Kettles

Dam Campground



Date: April 30th, 2025

To: Laura McKinnon, Development Officer (lmckinnon@mdpincercreek.ab.ca)

RE: Development Permit Application No. 2025-09 – Alberta Parks Comments

Dear Laura McKinnon,

Thank you for circulating this proposal to Alberta Parks, it is greatly appreciated.


Alberta Parks, South Region has the following comments regarding Development Permit Application No. 2025-09 for the property adjacent to Waterton Reservoir Provincial Recreation Area (PRA):

- Vehicular access into Waterton Reservoir PRA is restricted to the main access road entering the PRA via Highway 505.
- Note that the span of the private campground's recently built fence which runs parallel to the southwest boundary between the campground and the PRA encroaches approximately 12 to 15 metres into the PRA.
 - Ensure all development, building placements, land/vegetation changes, and campground uses are within the proponent's property, and all required setbacks are measured from the property line, not the fence.
 - Note that future development of the PRA may require fence relocation.
- The proposed development and site use must not adversely impact Alberta Park infrastructure. This includes, but is not limited to, fencing, trails, roads, campsites, vault toilets, and waste receptacles.
- The vault toilets, waste receptacles, and parking areas within Waterton Reservoir PRA are for PRA users. The private campground must be self-sufficient with their own on-site infrastructure to accommodate all their users.
- The development and or maintenance of formal or informal trails, paths, or roads within the PRA by the private campground owners, operators, or users is prohibited. This includes the clearing or mowing of any vegetation within the PRA.
- The applicant must adhere to the Alberta *Weed Control* Act, and ensure due diligence is taken to prevent, manage, and contain all noxious weeds during and after construction. This includes measures to mitigate the spread of weeds into the PRA. Most notably, the spread of spotted knapweed must be managed and contained.

Sincerely,

Rob Janzen, RPP, MCIP
Senior Parks Planner, Alberta Parks

Recommendation to Municipal Planning Commission

TITLE: DEVELOPMENT PERMIT No. 2025-10 Applicant: Link Builders for Kristopher Tillack Location: Lot 1, Block 1, Plan 2410864 within NW 35-5-28 W4 Division: 2 Size of Parcel: 2.43 ha (6.02 Acres) Zoning: Agriculture (A) Development: Single Detached Residence & Garden Suite		
PREPARED BY: Laura McKinnon DATE: May 1, 2025		
DEPARTMENT: Planning and Development		
Signature: _____		ATTACHMENTS: 1. Development Permit Application 2025-10 2. Single Detached Residence Drawings 3. Section 49 - Garden and Secondary Suites 4. Email from Mr. Tillack 5. GIS Site Plan
APPROVALS:		
_____ Department Director	_____ Date	_____ Roland Milligan CAO
_____ Date		

RECOMMENDATION:

That Development Permit Application No. 2025-10, for an Single Detached Residence and change of use to the original primary residence to Garden Suite, be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions as required in Land Use Bylaw 1349-23.
2. That the garden suite be removed once its current use is fulfilled where the parents of Mr. Kristopher Tillack no longer reside on the property.

Waiver(s):

1. That a variance be granted from Section 49.4 "The structure being proposed shall be shown to be readily moveable upon expiry of the approval period" and the garden suite be located in the current fixed residence.

Informative(s):

1. That this development not be used for tourist home or short-term rental purposes.

Recommendation to Municipal Planning Commission

BACKGROUND:

Update – May 6th 2025 Meeting

- At the April 1st 2025 MPC meeting, the Municipal Planning Commission request that the application be tabled, pending further information from the applicant regarding use, intention and care provided to the applicants parents, currently living in the primary residence.
- The applicant responded back to administration with the following information

Hello Laura

As of right now my parents are in good health and dont require any assistance. I want to move back home to help them when the time comes that they need extra assistance. Their current house has a large spiral staircase and such. The plans for the new house are all one level with no stairs to help alleviate any mobility issues that could arise. All these also apply to myself when I get older. As I'm sure you well know I am no doctor or medical professional so the services I would be providing would be extra help. Really anything that I could do help them stay self sufficient as long as possible is the goal.

Of course when the time comes I myself plan to retire there as well. I will look at getting rid of the old house once my parents can no longer physically live there.

Hopefully that helps to clear things up a little

Cheers,

Kristopher

April 1, 2025 Meeting

- On February 19, 2025, the MD accepted the Development Permit Application No. 2025-10 from applicant Link Builders for Kristopher Tillack. (**Attachment No. 1**).
- This application is to allow a new single detached residence to be built (**Attachment No. 2**) and change the current residence use to garden suite for the applicants parents (**Attachment No. 3**).
- This application is being placed in front of the MPC because:
 - Within the Agriculture (A) Land Use District, a Garden Suite is a Discretionary Use.
- The applicant is requesting garden suite for his parents to continue to live in, until they are no longer able – see email correspondence (**Attachment No. 4**).
- The application was forwarded to the adjacent landowners for comment; no responses were received at the time of this report being written.

Recommendation to Municipal Planning Commission

Location of Proposed Development





Municipal District of Pincher Creek

P.O. Box 279

Pincher Creek, AB T0K 1W0

Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2025-10

Date Application Received Feb 19/25

PERMIT FEE \$100 Permitted
\$150 Discretionary

Date Application Accepted Mar 11/25

RECEIPT NO. 65861

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government / other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9

SECTION 1: GENERAL INFORMATION

Applicant: Link Builders

Address: 1055 Elk Avenue Pincher Creek AB T0K-1W0 Box 2650

Telephone: [REDACTED]

Email: [REDACTED]

Owner of Land (if different from above): Kristopher James Tillack

Address: 136 Acacia Circle, Leduc AB T9E0C9 Telephone: [REDACTED]

Interest of Applicant (if not the owner): Contractor

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

House with attached garage

Legal Description: Lot(s) _____

Block _____

Plan _____

Quarter Section NW1/4 35-5-28-W4M

Estimated Commencement Date: May 1 2025

Estimated Completion Date: Jan 1 2026

SECTION 3: SITE REQUIREMENTS

Land Use District:

Agriculture - A

Division:

2☐ Permitted Use☒ Discretionary Use

Is the proposed development site within 100 metres of a swamp, gully, ravine, coulee, natural drainage course or floodplain?

☐ Yes☒ No

Is the proposed development below a licenced dam?

☐ Yes☒ No

Is the proposed development site situated on a slope?

☐ Yes☒ No

If yes, approximately how many degrees of slope? _____ degrees

Has the applicant or a previous registered owner undertaken a slope stability study or geotechnical evaluation of the proposed development site?

☐ Yes☒ No☐ Don't know☐ Not required

Could the proposed development be impacted by a geographic feature or a waterbody?

☐ Yes☒ No☐ Don't think so

<u>PRINCIPAL BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building	2791 sq ft		
(3) %Site Coverage by Building (within Hamets)	unknown		
(4) Front Yard Setback Direction Facing: <u>N</u>	220 ish meters	<u>30M (98.4ft)</u>	<u>Yes</u>
(5) Rear Yard Setback Direction Facing: <u>S</u>	160 ish meters	<u>7.5M (24.6ft)</u>	<u>Yes</u>
(6) Side Yard Setback: Direction Facing: <u>E</u>	7.5 meters	<u>7.5M (24.6ft)</u>	<u>Yes</u>
(7) Side Yard Setback: Direction Facing: <u>W</u>	35 ish meters	<u>7.5M (24.6ft)</u>	<u>Yes</u>
(8) Height of Building	6.21 meters		
(9) Number of Off Street Parking Spaces	5+		

Other Supporting Material Attached (e.g. site plan, architectural drawing)

Site plan and Building plans attached

<u>ACCESSORY BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) % Site Coverage by Building (within Hamlets)			
(4) Front Yard Setback Direction Facing:			
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

SECTION 4: DEMOLITION

Type of building being demolished : none

Area of size: _____

Type of demolition planned: _____

SECTION 5: SIGNATURES (both signatures required)

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

DATE: 19 Feb 2025



Applicant

Kristopher Tillack

Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.

IMPORTANT NOTES:

THE DEVELOPMENT OFFICER MAY REFUSE TO ACCEPT AN APPLICATION FOR A DEVELOPMENT PERMIT WHERE THE INFORMATION REQUIRED HAS NOT BEEN SUPPLIED OR WHERE THE QUALITY OF SUCH INFORMATION IS INADEQUATE TO PROPERLY EVALUATE THE APPLICATION.

1. In addition to completing this application form in its entirety, an application for a development permit shall be accompanied by the following information, where relevant:
 - (a) a lot plan at scale to the satisfaction of the Development Officer showing the size and shape of the lot, the front, rear and side yards, any provision for off-street loading and vehicle parking, access to the site, and the location of public utility lines, waterbodies and treed areas;
 - (b) a scaled floor plan and elevations where construction is proposed;
 - (c) at the discretion of the Development Officer, a Real Property Report as proof of location of existing development and a copy of the Duplicate Certificate of Title indicating ownership and encumbrances;
 - (d) if the applicant is not the registered owner, a written statement, signed by the registered owner consenting to the application and approving the applicant as the agent for the registered owner.
2. A non-refundable processing fee of an amount determined by Council shall accompany every application for a development permit.
3. Failure to complete the application form fully and supply the required information, plans and fee may cause delays in processing the application.
4. All development permits shall contain the following informative:

“ANY DEVELOPMENT CARRIED OUT PRIOR TO THE EFFECTIVE DATE OF THE APPROPRIATE DEVELOPMENT PERMIT IS DONE SOLELY AT THE RISK OF THE APPLICANT AND/OR LANDOWNER.”
5. In accordance with the *Municipal Government Act*, a development authority must, within 20 days after the receipt of an application for a development permit, determine whether the application is complete.

A decision on a completed application must be made within 40 days. After the 40-day period the applicant may deem the application refused and file an appeal within 21 days, of the expiry of the decision date.
6. Every approach to a residence is entitled to a civic address sign, supplied by the municipality. If your location does not already have a sign, please contact the MD Administration Office to make arrangements as soon as your approach has been constructed.



MD of Pincher Creek No. 9

P.O Box 279
1037 Herron Avenue
Pincher Creek Alberta T0K 1W0
(403) 627-3130
Website: www.mdpinchercreek.ab.ca
Email: info@mdpinnercreek.ab.ca

Link Builders

PAYMENT RECEIPT

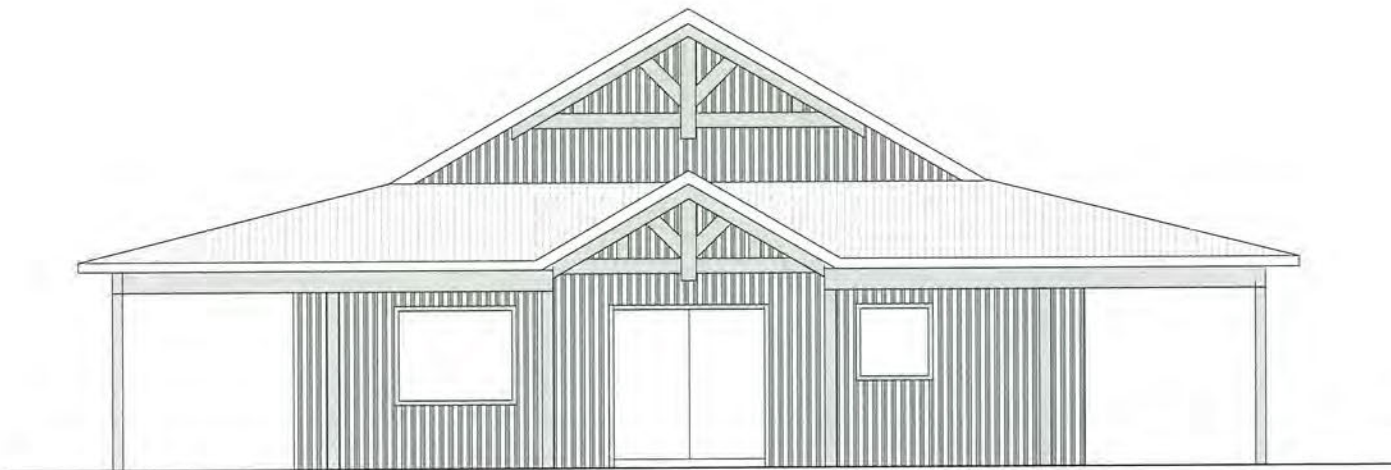
Receipt Number:	65861
Date:	3/11/2025
Initials:	KO
GST Registration #:	10747347RP

Receipt Type	Roll/Account	Description	QTY	Amount	Amount Owing
General	DEVE	Development Application Fees	N/A	\$150.00	\$0.00

Subtotal:	\$150.00
Discount	\$0.00
GST	\$0.00
Total Receipt:	\$150.00

Mastercard:	\$150.00
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Total Amount Received:	\$150.00
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TILLACK HOUSE

NEW RESIDENCE
 NW 1/4 SEC 35, TWP 5, RGE 28, W 4 M
 MUNICIPAL DISTRICT OF PINCHER CREEK NO. 9

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- A3.0 - EXTERIOR ELEVATIONS
- A4.0 - BUILDING SECTIONS
- A5.0 - ELECTRICAL PLAN



REVISION/ISSUED FOR

NO.	DESCRIPTION	DATE
1	IFR	10/11/2024
1	IFT	12/03/2024

PROJECT:
 TILLACK HOUSE

CLIENT:
 KRISTOPHER
 TILLACK

DRAWN BY:
 ABIGAIL REIMER

DATE:
 12/03/2024

ENGINEERING LOGO:

ENGINEERING STAMP:

DEVELOPMENT PERMIT NO:
 N/A
 BUILDING PERMIT NO:
 N/A

DRAWING:
 COVER PAGE

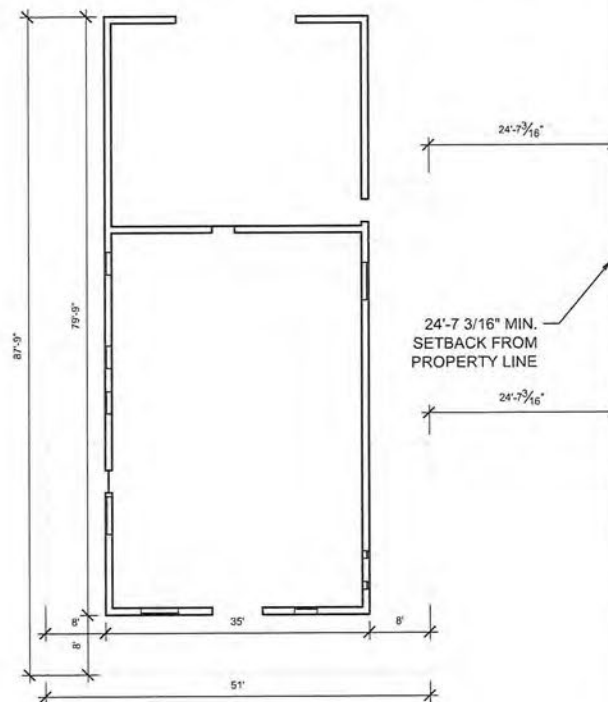
SHEET NO.:

A0.0

NW 1/4 SEC 35, TWP 5, RGE 28, W 4 M
MUNICIPAL DISTRICT OF PINCHER CREEK NO. 9



LOCATION
A1 NTS



SITE PLAN
A1 SCALE: 1/16" = 1'-0"



REVISION/ISSUED FOR

NO.	DESCRIPTION	DATE
1	IFR	10/11/2024
1	IFT	12/03/2024

PROJECT:
TILLACK HOUSE

CLIENT:
KRISTOPHER
TILLACK

DRAWN BY:
ABIGAIL REIMER

DATE:
12/03/2024

ENGINEERING LOGO:

ENGINEERING STAMP:

DEVELOPMENT PERMIT NO:
N/A
BUILDING PERMIT NO:
N/A

DRAWING:
SITE PLAN

SHEET NO.:

A1.0



REVISION/ISSUED FOR

NO.	DESCRIPTION	DATE
1	IFR	10/11/2024
1	IFT	12/03/2024

PROJECT:
TILLACK HOUSE

CLIENT:
KRISTOPHER
TILLACK

DRAWN BY:
ABIGAIL REIMER

DATE:
12/03/2024

ENGINEERING LOGO:

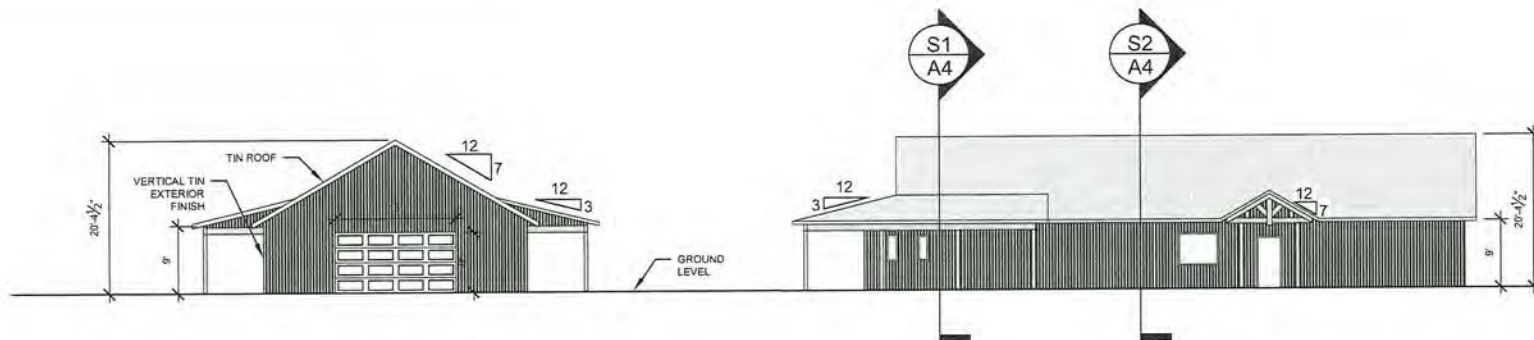
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BUILDING PERMIT NO:
N/A

DRAWING:
EXTERIOR
ELEVATIONS

SHEET NO.:

A3.0



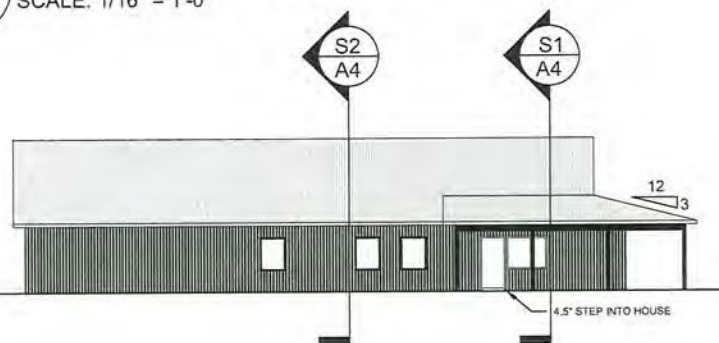
E1 NORTH ELEVATION
A3 SCALE: 1/16" = 1'-0"

E2 EAST ELEVATION
A3 SCALE: 1/16" = 1'-0"



E3 SOUTH ELEVATION
A3 SCALE: 1/16" = 1'-0"

E4 WEST ELEVATION
A3 SCALE: 1/16" = 1'-0"





REVISION/ISSUED FOR

NO.	DESCRIPTION	DATE
1	IFR	10/11/2024
1	IFT	12/03/2024

PROJECT:
TILLACK HOUSECLIENT:
KRISTOPHER
TILLACKDRAWN BY:
ABIGAIL REIMERDATE:
12/03/2024

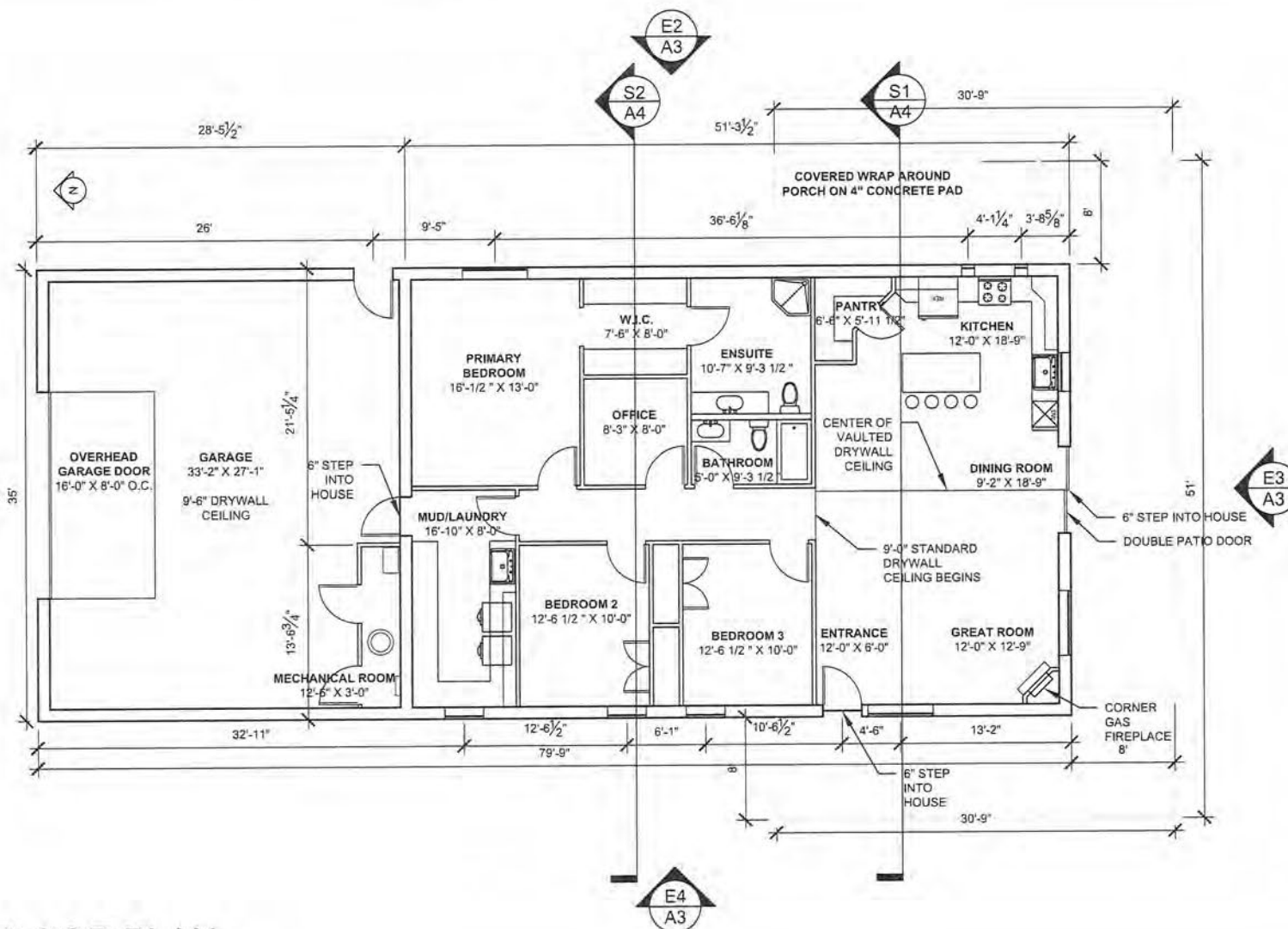
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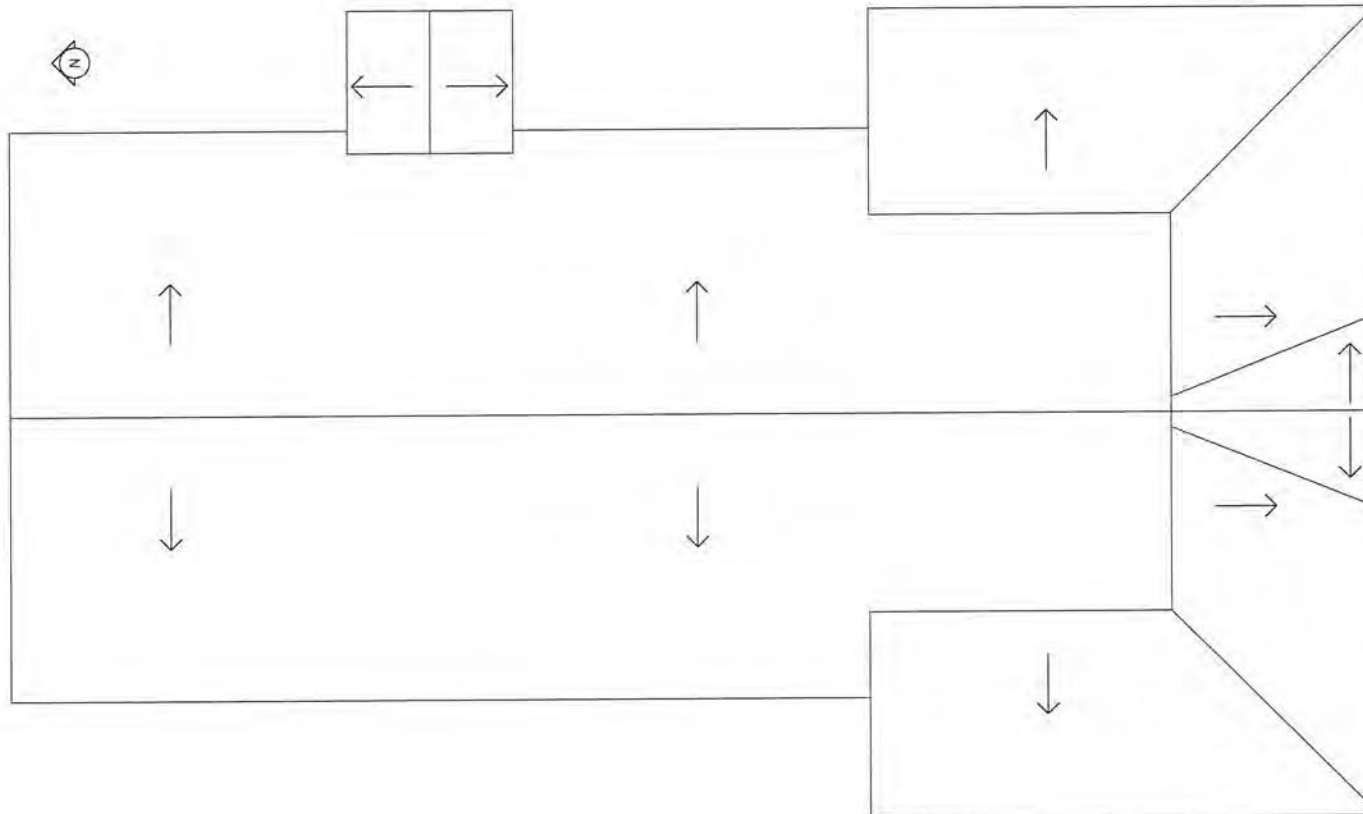
ENGINEERING STAMP:

DEVELOPMENT PERMIT NO.:
N/A
BUILDING PERMIT NO.:
N/ADRAWING:
FLOOR PLAN

SHEET NO.:

A2.0

P1
A2 FLOOR PLAN
SCALE: 1/8" = 1'-0"



REVISION/ISSUED FOR

NO.	DESCRIPTION	DATE
1	IFR	10/11/2024
1	IFT	12/03/2024

PROJECT:
TILLACK HOUSE

CLIENT:
KRISTOPHER
TILLACK

DRAWN BY:
ABIGAIL REIMER

DATE:
12/03/2024

ENGINEERING LOGO:

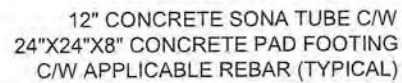
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DEVELOPMENT PERMIT NO:
N/A
BUILDING PERMIT NO:
N/A

DRAWING:
ROOF PLAN

SHEET NO.:
A2.1

P2
A2 **ROOF PLAN**
SCALE: 1/8" = 1'-0"



A2.2



REVISION/ISSUED FOR

NO.	DESCRIPTION	DATE
1	IFR	10/11/2024
1	IFT	12/03/2024

PROJECT:
TILLACK HOUSECLIENT:
KRISTOPHER
TILLACKDRAWN BY:
ABIGAIL REIMERDATE:
12/03/2024

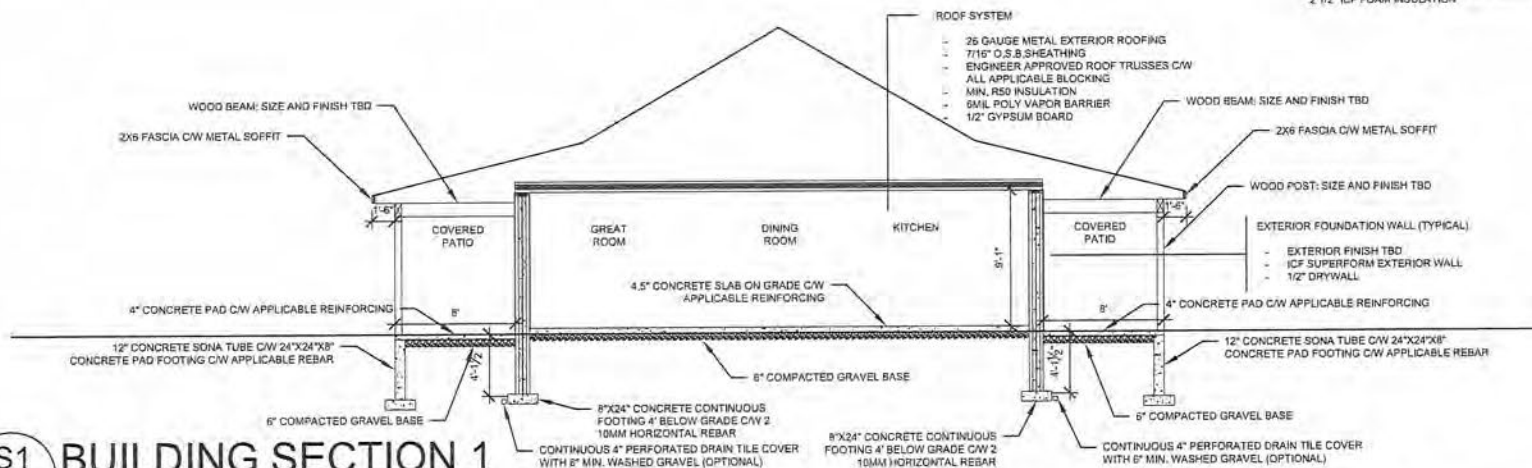
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ENGINEERING STAMP:

DEVELOPMENT PERMIT NO:
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BUILDING PERMIT NO:
N/ADRAWING:
BUILDING
SECTIONS

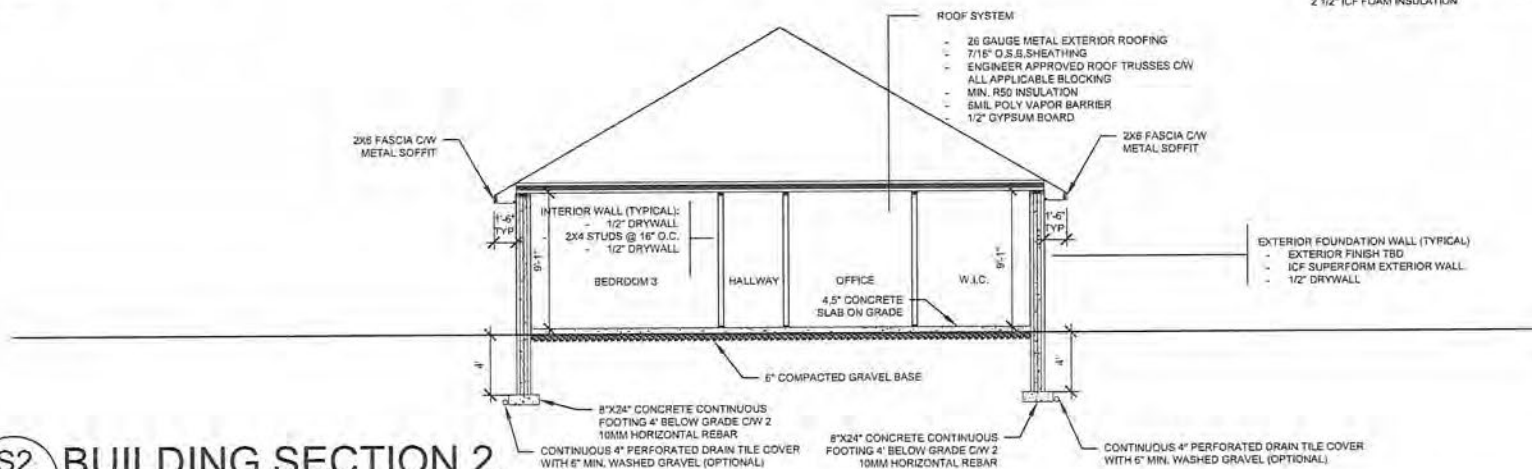
SHEET NO.:

A4.0

ICF WALL MAKEUP:
2 1/2" ICF FOAM INSULATION
6" CONCRETE CORE C/W VERTICAL REBAR
EVERY 48" & HORIZONTAL REBAR EVERY 12"
2 1/2" ICF FOAM INSULATIONS1
A4

BUILDING SECTION 1

SCALE: 1/8" = 1'-0"

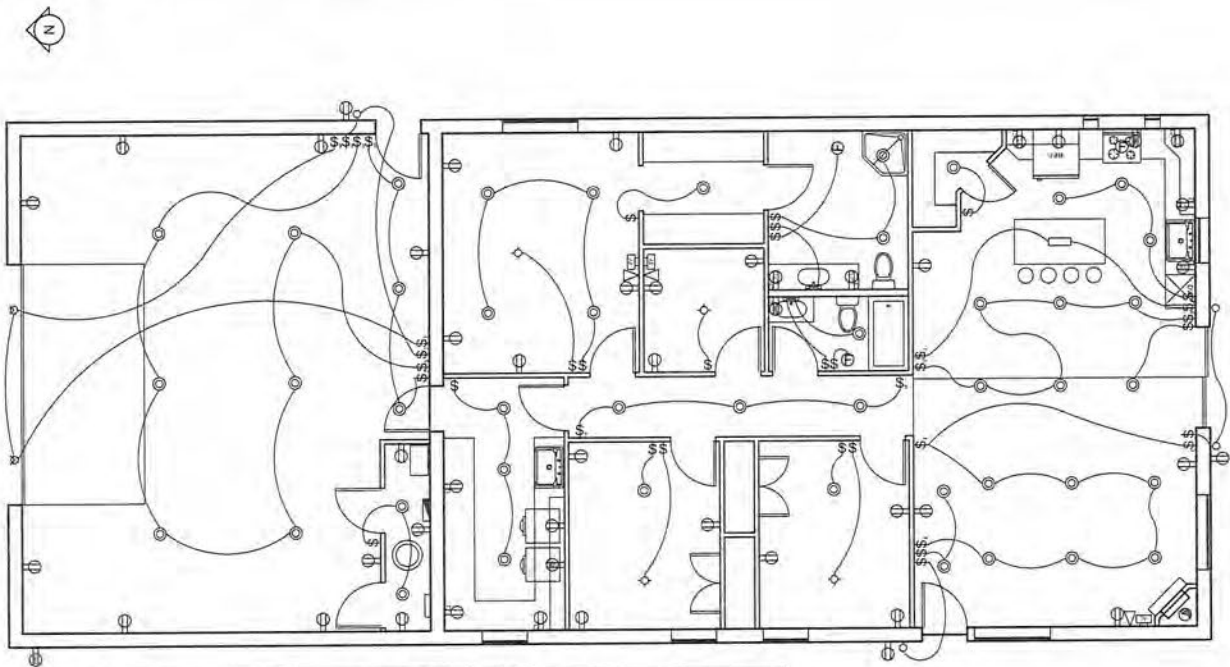
ICF WALL MAKEUP:
2 1/2" ICF FOAM INSULATION
6" CONCRETE CORE C/W VERTICAL REBAR
EVERY 48" & HORIZONTAL REBAR EVERY 12"
2 1/2" ICF FOAM INSULATIONS2
A4

BUILDING SECTION 2

SCALE: 1/8" = 1'-0"

*CONCEPTUAL ELECTRICAL PLAN ONLY- SUBJECT
TO CHANGE WITH ELECTRICIAN'S COMMENTS

*CODE REQUIREMENTS TO OVERRULE ALL
SPECIFICATIONS



ELECTRICAL SYMBOLS LEGEND					
	RECESSED POT LIGHT		2-WAY SWITCH		COUNTERTOP DUPLEX RECEPTACLE
	CEILING-MOUNTED LIGHT W/ FAN		3-WAY SWITCH		240V DUPLEX RECEPTACLE
	WALL-MOUNTED MULTI-BULB VANITY FIXTURE		4-WAY SWITCH		GFCI DUPLEX RECEPTACLE
	CEILING-MOUNTED MULTI-BULB FIXTURE		EXTERIOR VENTED FAN		WEATHER RESIST. DUPLEX RECEPTACLE
	EXTERIOR FLOODLIGHT		TV		ELECTRICAL PANEL
	EXTERIOR WALL SCONCE		DATA OUTLET		NATURAL GAS
	SMOKE DETECTION		DUPLEX RECEPTACLE		

P4
A5

ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"



REVISION/ISSUED FOR

NO.	DESCRIPTION	DATE
1	IFR	10/11/2024
1	IFT	12/03/2024

PROJECT:
TILLACK HOUSE

CLIENT:
KRISTOPHER
TILLACK

DRAWN BY:
ABIGAIL REIMER

DATE:
12/03/2024

ENGINEERING LOGO:

ENGINEERING STAMP:

DEVELOPMENT PERMIT NO:
N/A
BUILDING PERMIT NO:
N/A

DRAWING:
ELECTRICAL PLAN

SHEET NO.:
A5.0

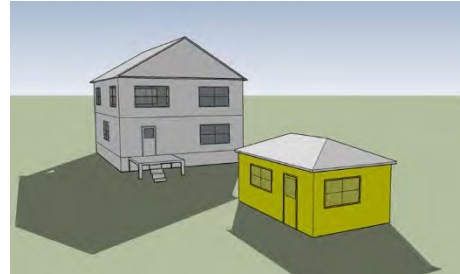
- 48.35 In conjunction with the approved emergency response plan, as a condition of development each individual accommodation site must have an address post equipped with a numbered and color coded sign. Each entrance to the site must contain a key map of the site locations with road names and directional signage.

SECTION 49 GARDEN AND SECONDARY SUITES

GARDEN SUITE

49.1 A Garden suite shall:

- (a) not exceed one (1) storey in height;
- (b) require a development permit which shall expire in 5 years and is renewable once at the discretion of the Development Officer based on the original criteria of the approval and renewable thereafter at the discretion of the Municipal Planning Commission.

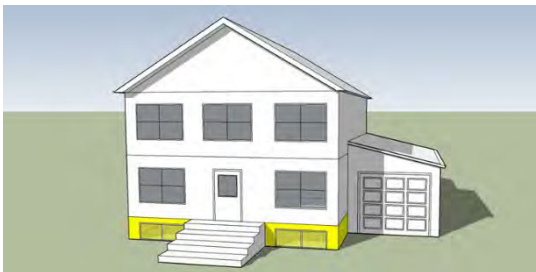


- 49.2 A Garden suite shall be used to house individuals providing care to or receiving care from the resident(s) of the principal building.
- 49.3 Garden suites are subject to National Building Code – Alberta Edition.
- 49.4 The structure being proposed shall be shown to be readily moveable upon expiry of the approval period.

SECONDARY SUITE

49.5 All secondary suites shall meet the following general requirements:

- (a) only one secondary suite may be developed where a 'Single-detached dwelling', 'Modular home', 'Manufactured home', or 'Moved-in dwelling' has been established;
- (b) in all districts where listed as a permitted or discretionary use, a secondary suite may be considered (as shown in figures below) as a basement suite, a garage suite under the roof of the principal dwelling, and as a single storey at grade garage suite.



Re: Development Permit Questions

From Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>

Date Tue 2025-03-11 10:32 AM

To Kristopher Tillack <ktillack2191@hotmail.com>

Appreciate the clarification - thank you Kris.

Kindly,

Laura McKinnon, CPT
Development Officer

MD Of Pincher Creek
1037 Herron Avenue
Box 279
Pincher Creek, AB
T0K1W0
Office: 403-627-3130
Email: AdminDevOfr@mdpincercreek.ab.ca

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From: Kristopher Tillack <ktillack2191@hotmail.com>
Sent: March 11, 2025 10:31 AM
To: Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>
Subject: Re: Development Permit Questions

Hello again Laura

The key word is eventually. The plan is for my parents to remain in the house for as long as they wish. However eventually life will happen and they will no longer be able to stay there. At that point I will start making plans to remove the old house.

So long story short the plan for now will be to eventually remove the old house but due to the unknown timeline I have no plans to do it soon

Cheers

Kris

Get [Outlook for Android](#)

From: Laura McKinnon <AdminDevOfr@mdpinchercreek.ab.ca>

Sent: Tuesday, March 11, 2025 10:11:34 AM

To: ktillack2191@hotmail.com <ktillack2191@hotmail.com>

Subject: Development Permit Questions

Hi Kris,

Reviewing your development permit application that came from Link Builders - I wanted to clarify, is it still your intention to remove the old house off the property eventually?

Kindly,

Laura McKinnon, CPT

Development Officer

MD Of Pincher Creek

1037 Herron Avenue

Box 279

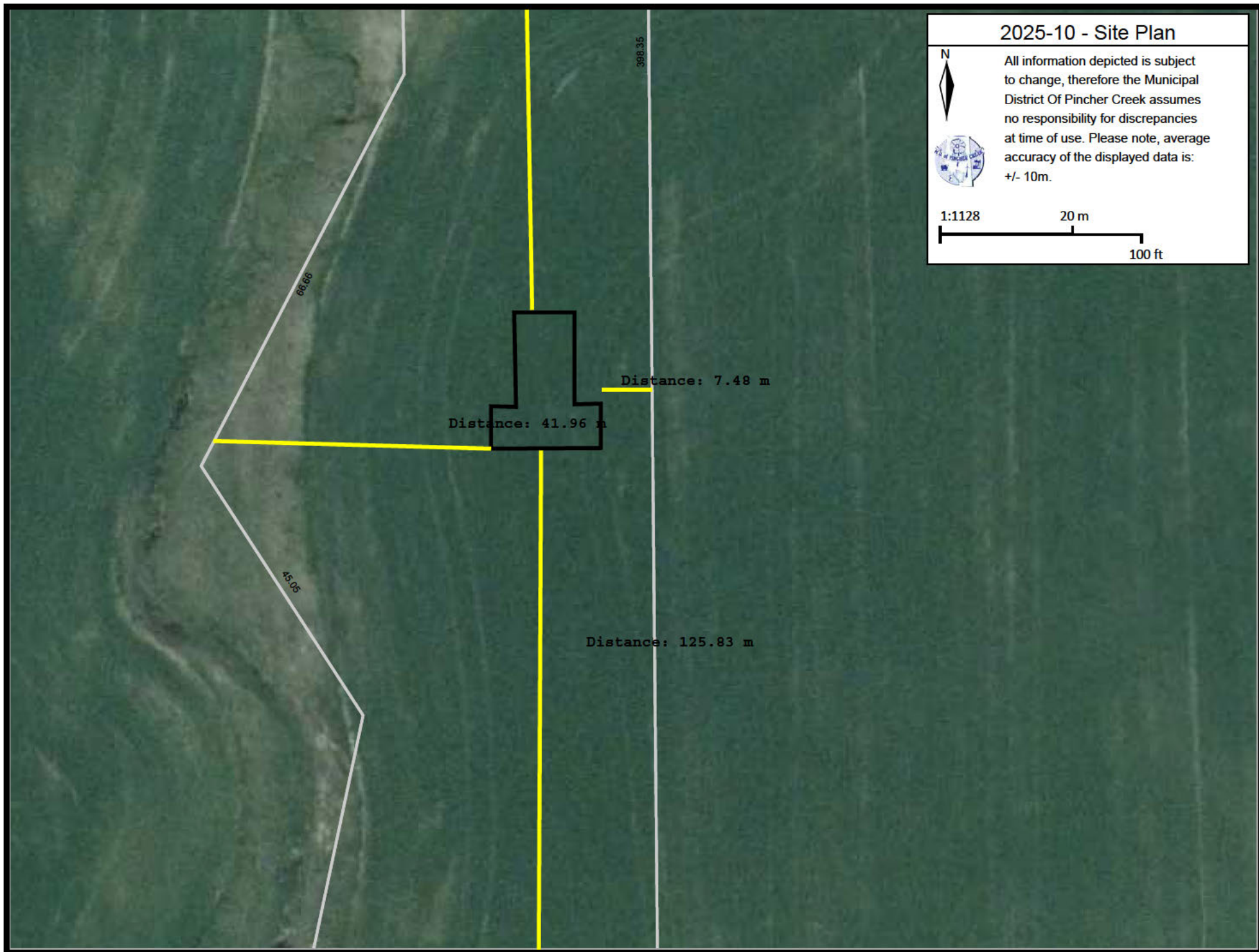
Pincher Creek, AB

T0K1W0

Office: 403-627-3130

Email: AdminDevOfr@mdpinchercreek.ab.ca

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2025-10 - Site Plan



All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.

1:1128

20 m

100 ft

2025-10 - Site Plan



All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.

1:2256

50 m

200 ft

Distance: 242.36 m

Distance: 7.48 m

Distance: 41.96 m

Distance: 125.83 m

2025-10 - Site Plan

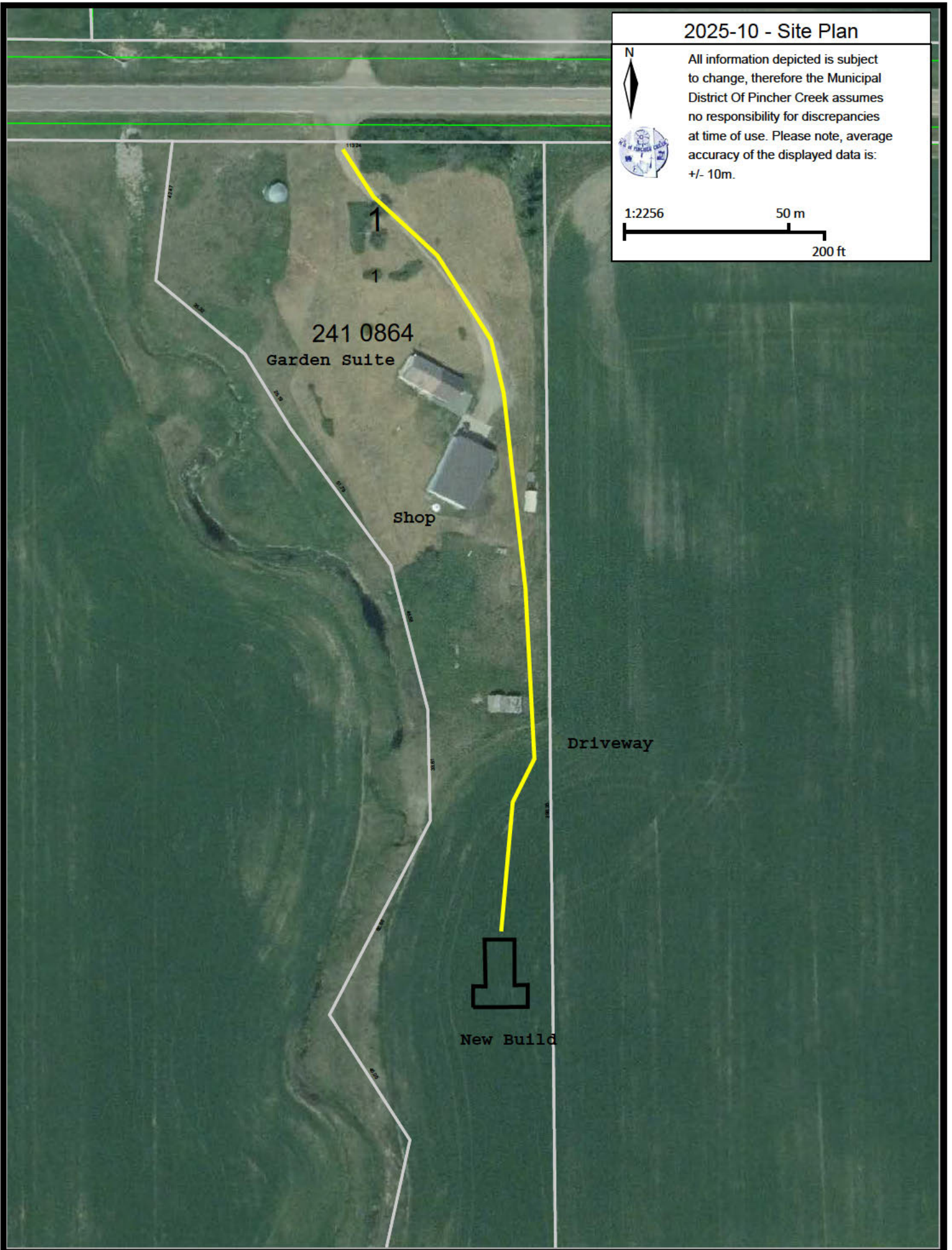


All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.


1:2256

50 m

200 ft



Recommendation to Municipal Planning Commission

TITLE: DEVELOPMENT PERMIT No. 2025-19 Applicant: David & Sandra Dalzell Location: Lot 16,15;; within NE 1-5-30 W4 Division: 1 Size of Parcel: 27.08 ha (66.92 Acres) Zoning: Agriculture (A) Development: Secondary Farm Residence		
PREPARED BY: Laura McKinnon DATE: May 1, 2025		
DEPARTMENT: Planning and Development		
Signature: _____		ATTACHMENTS: 1. Development Permit Application 2025-19 2. Letter from Applicant 3. House Drawings 4. GIS Site Plan
APPROVALS:		
_____ Department Director	_____ Date	_____ Roland Milligan CAO
_____ Date	_____ Date	

RECOMMENDATION:

That Development Permit Application No. 2025-19, for a Secondary Farm Residence, be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions as required in Land Use Bylaw 1349-23.
2. That the applicant adhere to conditions set forth within the required Alberta Transportation Roadside Development Permit, to be attached to and form part of this permit.
3. That the old residence must be removed and the new residence be constructed at the same location, as depicted in the submitted and approved site plan.

Waiver(s):

1. That a waiver be granted from Land Use Bylaw 1349-23, Section 42.3 “one or more additional dwelling units may be located on a parcel provided that: (a) all such dwellings are secondary farm residences on a parcel that has an area greater than 32.4 ha(80 acres) and this use is a permitted or discretionary use in the applicable district” for a secondary farm residence on a 27.08 ha (66.92 ac) parcel.

Recommendation to Municipal Planning Commission

BACKGROUND:

- On April 14, 2025, the MD accepted the Development Permit Application No. 2025-19 from applicants David and Sandra Dalzell. (*Attachment No. 1*).
- This property currently has two residences on it; however, the applicant has submitted a letter for the reasoning for not renovating the current second home and tearing it down to build a new one (*Attachment No. 2*). Although previously permitted for two houses, this property is legal non-conforming because a Secondary Farm Residence is required to be placed on a parcel greater than 32.4 ha (80ac) under Land Use Bylaw 1349-23.
- This application is being placed in front of the MPC because:
 - Within the Agriculture (A) Land Use District, Secondary Farm Residence is a Discretionary Use.
- The new house would be placed directly on the same site as the old house (*Attachment No. 3*) with a smaller square footage (*Attachment No. 4*)
- The application was forwarded to the adjacent landowners for comment; no responses were received at the time of this report being written.



Municipal District of Pincher Creek

P.O. Box 279

Pincher Creek, AB T0K 1W0

Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2025

Date Application Received Apr 14/25

PERMIT FEE \$100 Permitted
\$150 Discretionary

Date Application Accepted Apr 14/25

RECEIPT NO. 66137

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government / other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9

SECTION 1: GENERAL INFORMATION

Applicant: DAVID & SANDRA DALZELL

Address: 5027 Hwy 6, PINCHER CREEK T0K1W0

Telephone: 403-627-3130 Email: sandra.dalzell@pincher.creek.ab.ca

Owner of Land (if different from above): _____

Address: _____ Telephone: _____

Interest of Applicant (if not the owner): _____

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

See Attachment #1

Legal Description: Lot(s) _____

Block _____

Plan _____

Quarter Section NE-1-5-30 W4

Estimated Commencement Date: September 2025

Estimated Completion Date: Spring 2026

SECTION 3: SITE REQUIREMENTSLand Use District: Agriculture - A Division: 1☐ Permitted Use ☒ Discretionary Use

Is the proposed development site within 100 metres of a swamp, gully, ravine, coulee, natural drainage course or floodplain?

☒ Yes ☐ No

Is the proposed development below a licenced dam?

☐ Yes ☒ No

Is the proposed development site situated on a slope?

☐ Yes ☒ No

If yes, approximately how many degrees of slope? _____ degrees

Has the applicant or a previous registered owner undertaken a slope stability study or geotechnical evaluation of the proposed development site?

☐ Yes ☐ No ☐ Don't know ☒ Not required

Could the proposed development be impacted by a geographic feature or a waterbody?

☐ Yes ☒ No ☐ Don't think so

<u>PRINCIPAL BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site			
X (2) Area of Building	1152 sq feet		
(3) %Site Coverage by Building (within Hamets)			
X (4) Front Yard Setback Direction Facing: NORTH	596'	7.5 (24.6 ft)	Yes
X (5) Rear Yard Setback Direction Facing: SOUTH	614'	7.5M (24.6 ft)	Yes
X (6) Side Yard Setback: Direction Facing: WEST	232'	30M (98.4 ft)	Yes
X (7) Side Yard Setback: Direction Facing: EAST	1875'	7.5M (24.6 ft)	Yes
X (8) Height of Building	22' 7 1/4"		
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

See Attachment #2

<u>ACCESSORY BUILDING</u>	Proposed	By Law Requirements	Conforms
(1) Area of Site			
(2) Area of Building			
(3) % Site Coverage by Building (within Hamlets)			
(4) Front Yard Setback Direction Facing:	N/A		
(5) Rear Yard Setback Direction Facing:			
(6) Side Yard Setback: Direction Facing:			
(7) Side Yard Setback: Direction Facing:			
(8) Height of Building			
(9) Number of Off Street Parking Spaces			

Other Supporting Material Attached (e.g. site plan, architectural drawing)

SECTION 4: DEMOLITION

Type of building being demolished : 4 room house.

Area of size: 2016 sq feet.

Type of demolition planned: Deconstruction by manual demolition.

SECTION 5: SIGNATURES (both signatures required)

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

DATE: 9th April 2025

S. Dazell
Applicant

DAVID & SANDRA DAZELL
Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.

IMPORTANT NOTES:

THE DEVELOPMENT OFFICER MAY REFUSE TO ACCEPT AN APPLICATION FOR A DEVELOPMENT PERMIT WHERE THE INFORMATION REQUIRED HAS NOT BEEN SUPPLIED OR WHERE THE QUALITY OF SUCH INFORMATION IS INADEQUATE TO PROPERLY EVALUATE THE APPLICATION.

1. In addition to completing this application form in its entirety, an application for a development permit shall be accompanied by the following information, where relevant:
 - (a) a lot plan at scale to the satisfaction of the Development Officer showing the size and shape of the lot, the front, rear and side yards, any provision for off-street loading and vehicle parking, access to the site, and the location of public utility lines, waterbodies and treed areas;
 - (b) a scaled floor plan and elevations where construction is proposed;
 - (c) at the discretion of the Development Officer, a Real Property Report as proof of location of existing development and a copy of the Duplicate Certificate of Title indicating ownership and encumbrances;
 - (d) if the applicant is not the registered owner, a written statement, signed by the registered owner consenting to the application and approving the applicant as the agent for the registered owner.
2. A non-refundable processing fee of an amount determined by Council shall accompany every application for a development permit.
3. Failure to complete the application form fully and supply the required information, plans and fee may cause delays in processing the application.
4. All development permits shall contain the following informative:

“ANY DEVELOPMENT CARRIED OUT PRIOR TO THE EFFECTIVE DATE OF THE APPROPRIATE DEVELOPMENT PERMIT IS DONE SOLELY AT THE RISK OF THE APPLICANT AND/OR LANDOWNER.”
5. In accordance with the *Municipal Government Act*, a development authority must, within 20 days after the receipt of an application for a development permit, determine whether the application is complete.

A decision on a completed application must be made within 40 days. After the 40-day period the applicant may deem the application refused and file an appeal within 21 days, of the expiry of the decision date.
6. Every approach to a residence is entitled to a civic address sign, supplied by the municipality. If your location does not already have a sign, please contact the MD Administration Office to make arrangements as soon as your approach has been constructed.



MD of Pincher Creek No. 9

P.O Box 279
1037 Herron Avenue
Pincher Creek Alberta T0K 1W0
(403) 627-3130
Website: www.mdpinchercreek.ab.ca
Email: info@mdpinnercreek.ab.ca

sandra dalzell
david dalzell

PAYMENT RECEIPT

Receipt Number:	66137
Date:	4/14/2025
Initials:	CD
GST Registration #:	10747347RP

Receipt Type	Roll/Account	Description	QTY	Amount	Amount Owing
General	DEVE	Development Application Fees	N/A	\$150.00	\$0.00

Subtotal:	\$150.00
Discount	\$0.00
GST	\$0.00
Total Receipt:	\$150.00
Cheque:	\$150.00
Total Amount Received:	\$150.00

Development Permit Application:

David and Sandra Dalzell
5027 Hwy 6
Pincher Creek
T0K1W0

We are proposing to replace an existing structure with a new structure.

After consulting with our builder, renovating the existing building will not to be a financially viable option .

We are proposing taking this structure down and replace it with a new residence.

The new residence will be a secondary farm residence for our personal use and will be adjacent to the main house where our daughter lives.

Thank you for your consideration.

Proposed New Building:

Square footage-1152 sq.feet

Height-22' 7 1/4 "

Electricity and water supply are in current building.

Existing septic

NOTE:
Drawings are drawn to scale as indicated and scaling may vary slightly due to reproduction. Contractors to verify all work. All plans therefore should not be scaled, and Discrepancies reported to Prairie Home Design prior to Construction. Prairie Home Design will not be held liable for any discrepancies not reported before construction.

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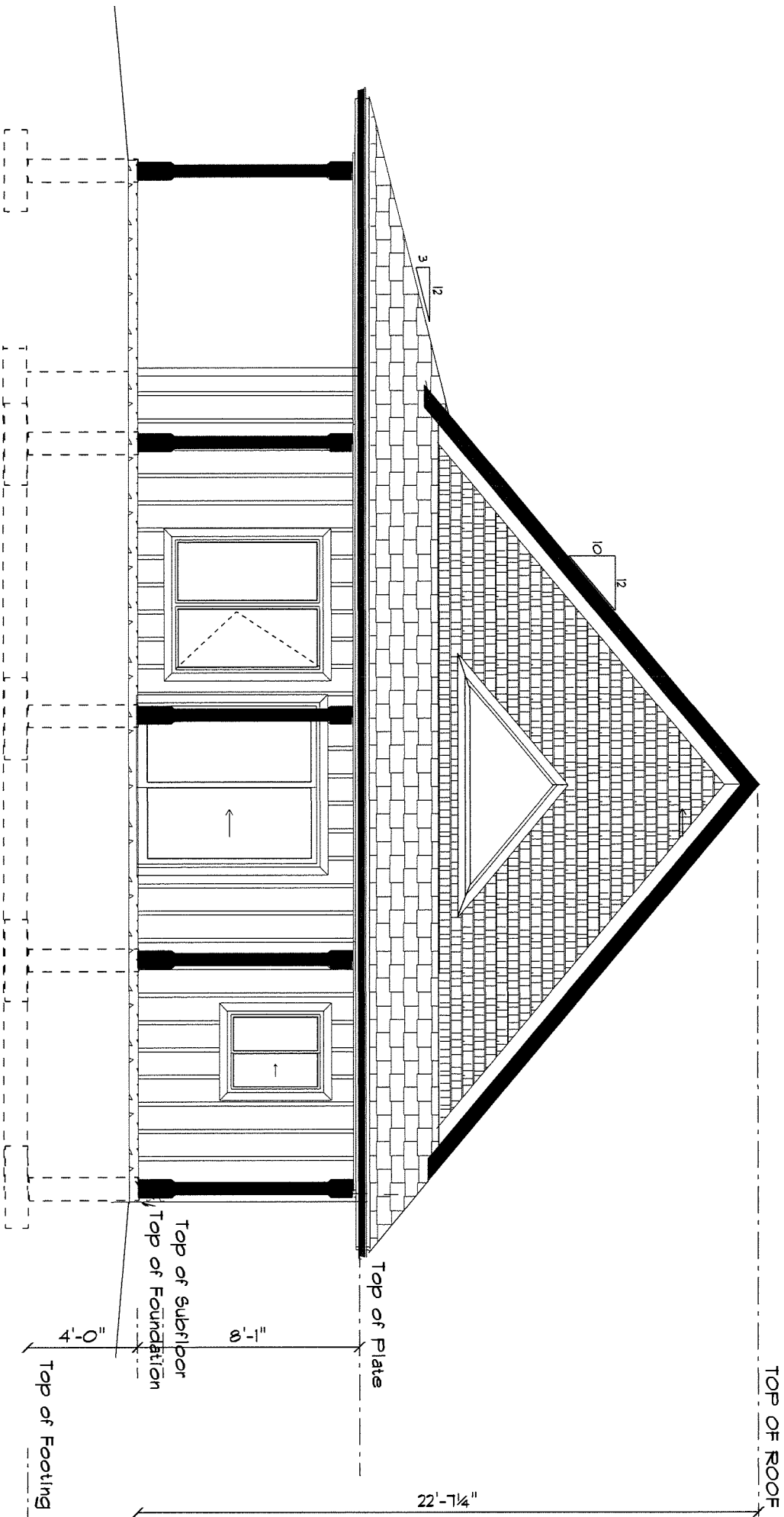
DESIGNED FOR
Dave & Sandra Dalzell
Pincher Creek
403-632-5033

DATE:
Feb. 6 2025

SCALE: 3/16" = 1'

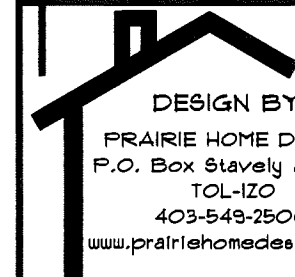
PAGE: 1 of 11

CLIENT:



FRONT ELEVATION

DO NOT SCALE



DESIGN BY
PRAIRIE HOME DESIGN
P.O. Box Stavely Alberta
TOL-1Z0
403-549-2500
www.prairiehomedesign.com

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DESIGNED FOR
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403-632-5033

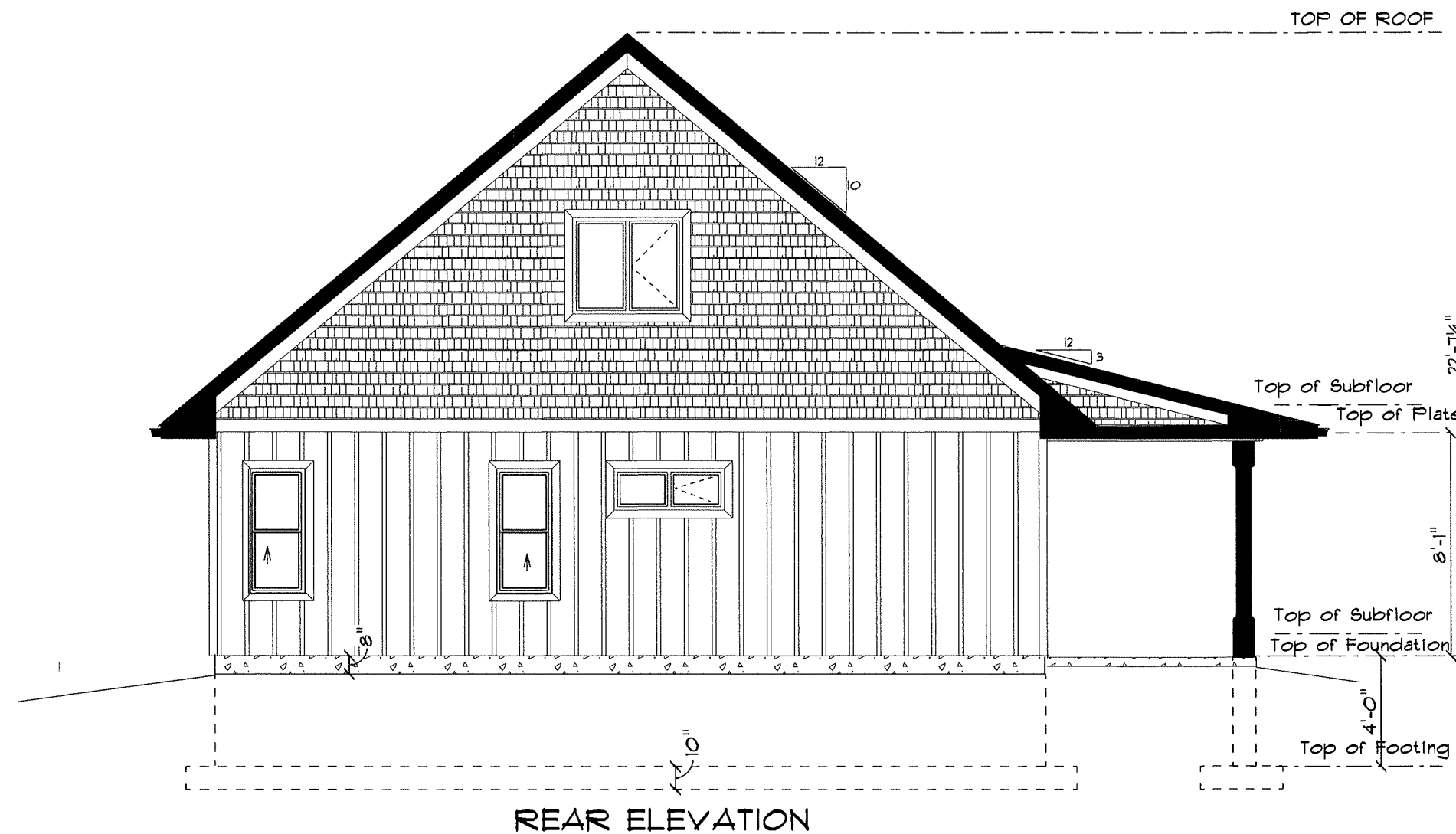
DATE:

Feb. 6 2025


SCALE: 3/16" = 1'

PAGE: 2 of 11

CLIENT:



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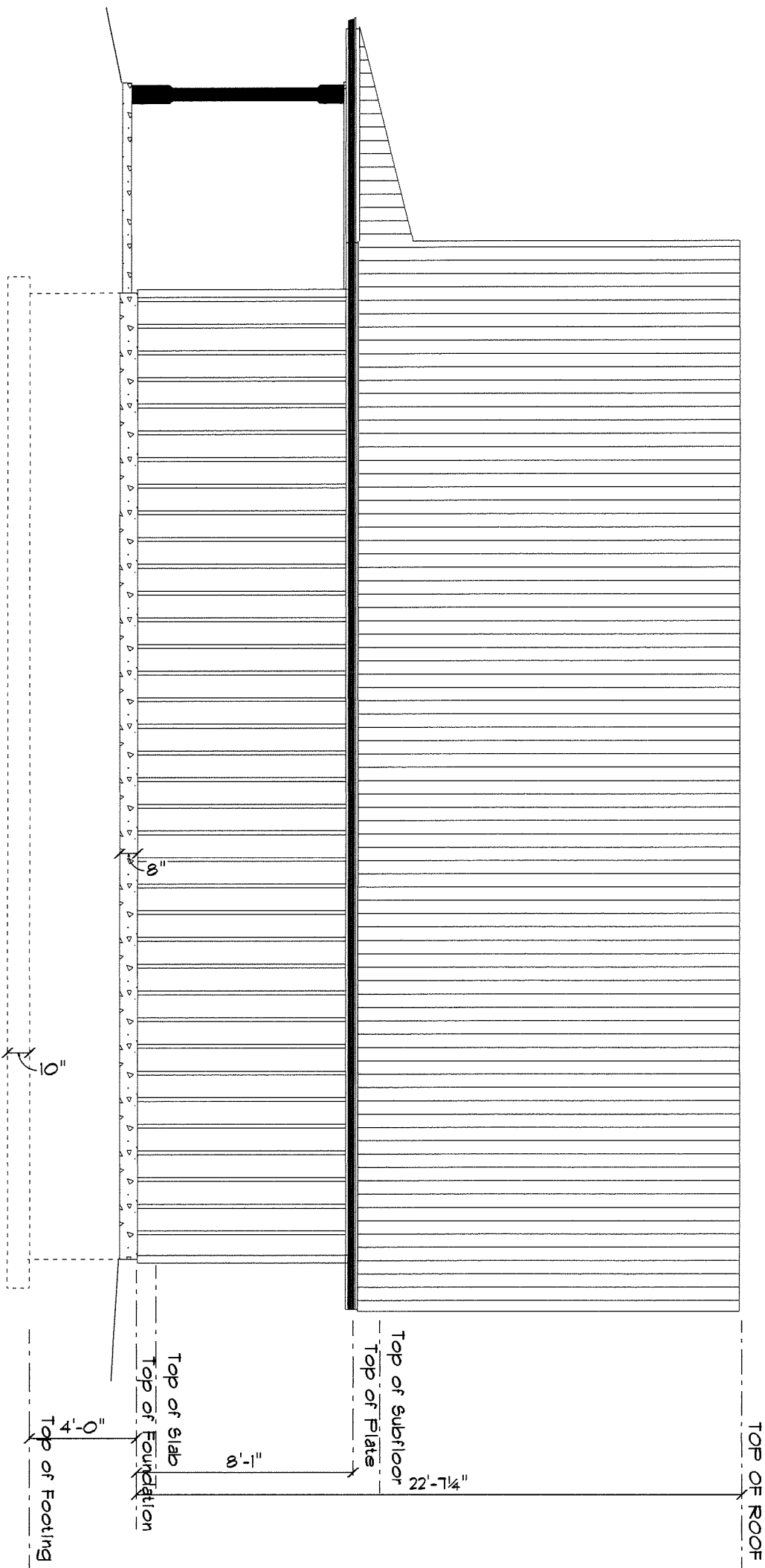
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Dave & Sandra Dalzell
Pincher Creek
403-632-5033

DATE:
Feb. 6 2025


SCALE: 3/16" = 1'

PAGE: 3 of 11

CLIENT:



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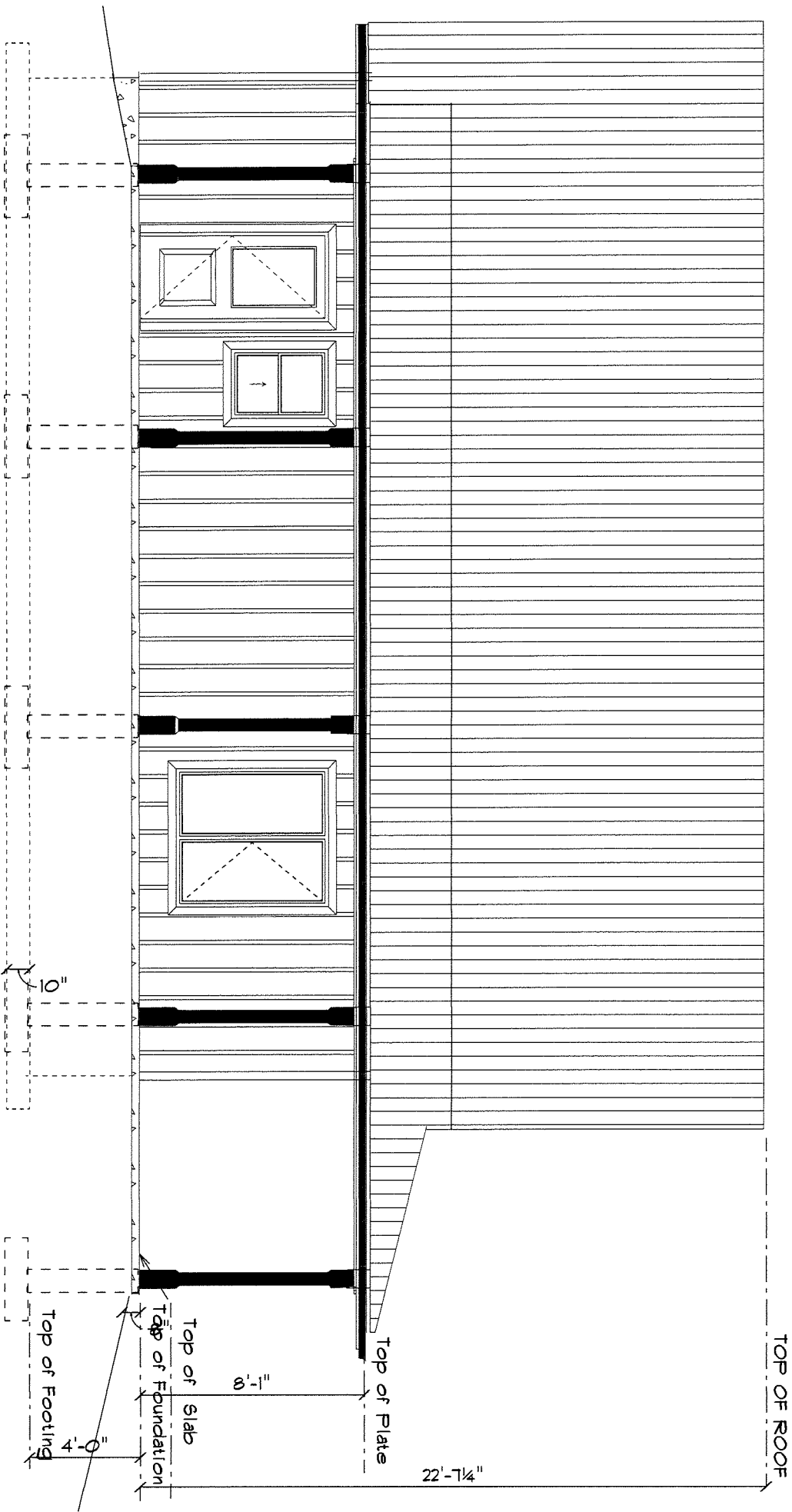
DESIGNED FOR
Dave & Sandra Dalzell
Pincher Creek
403-632-5033

DATE:
Feb. 6 2025

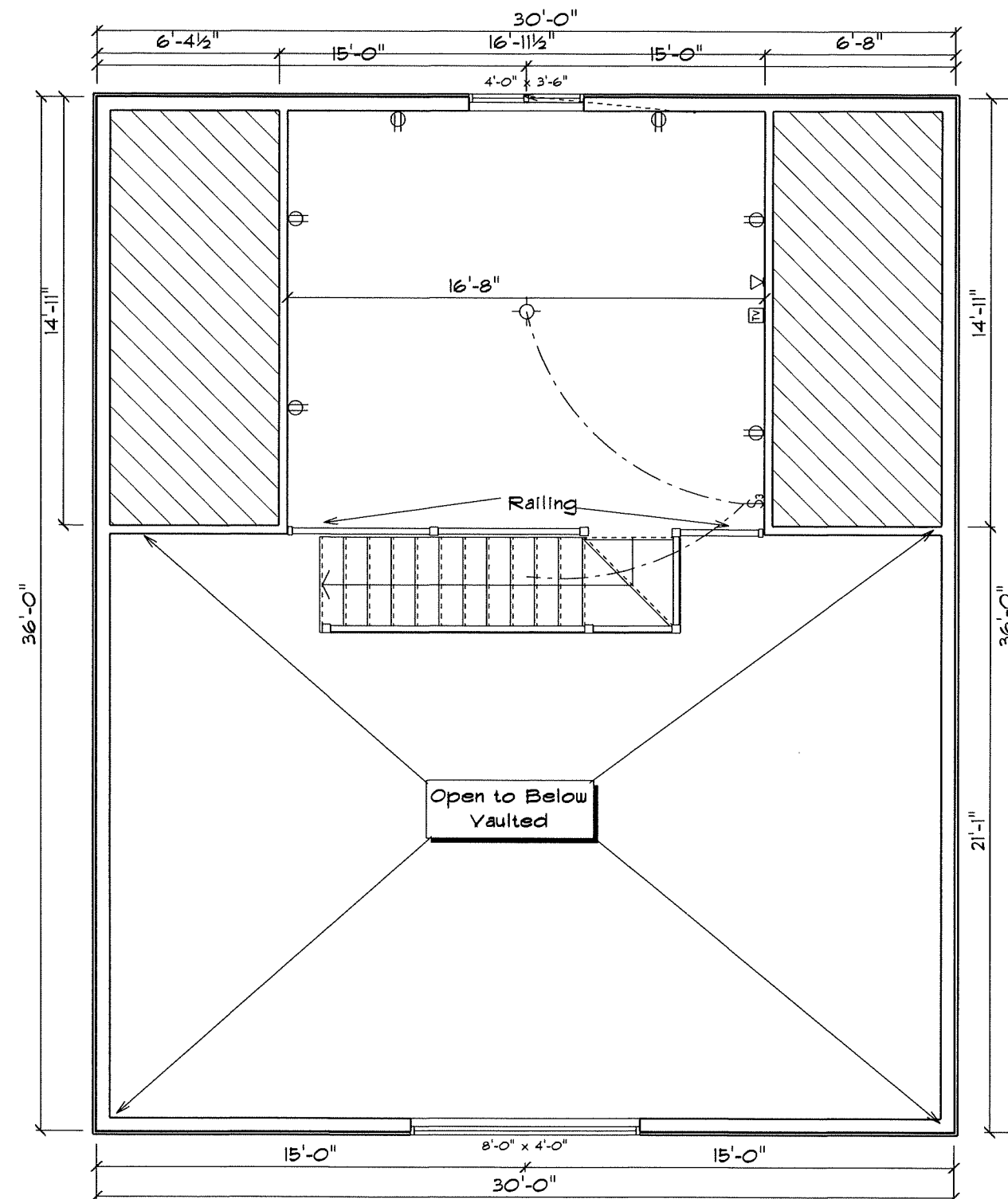
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SECOND FLOOR PLAN

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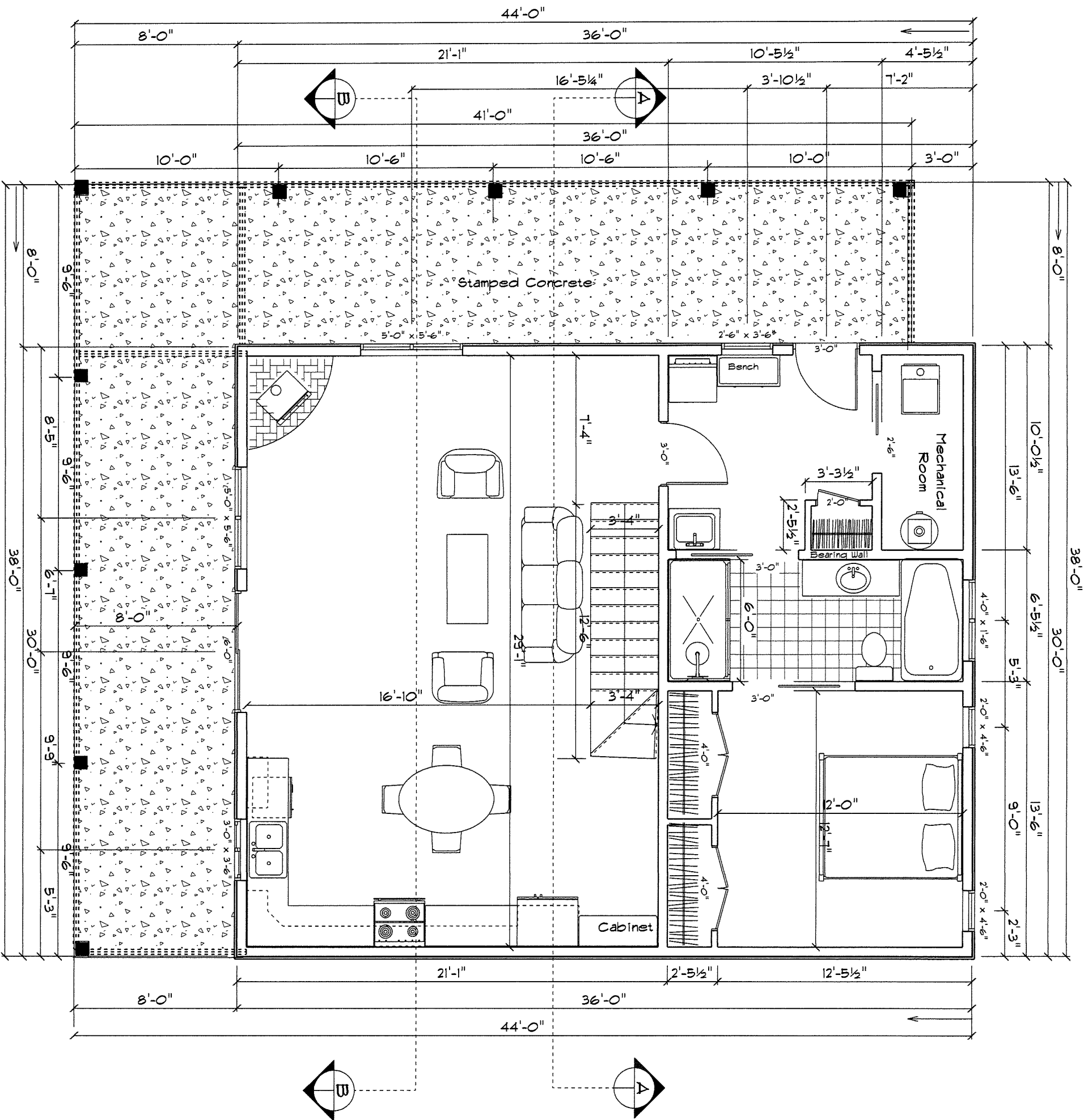
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MAIN FLOOR PLAN

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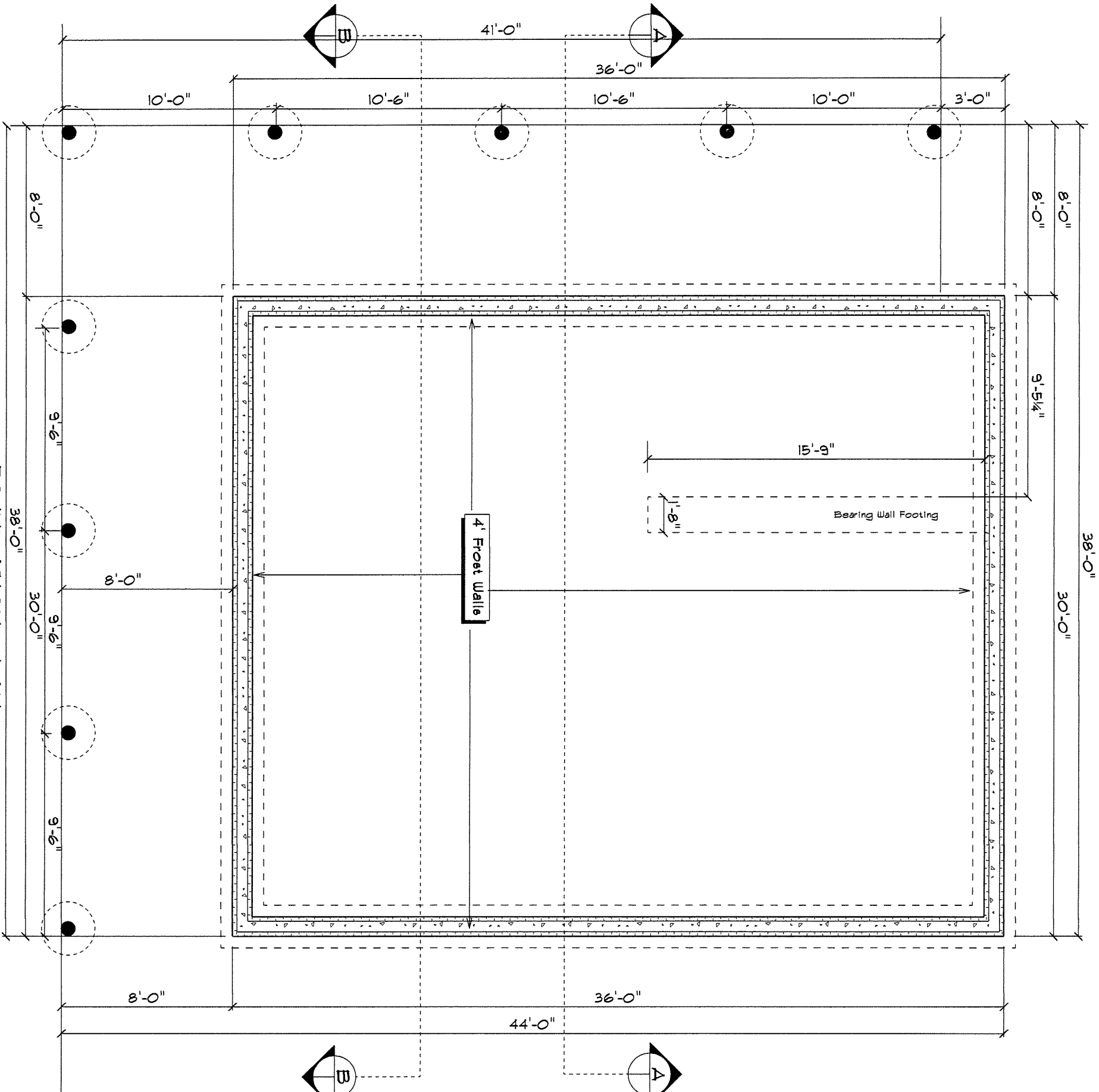
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FOUNDATION PLAN

DO NOT SCALE

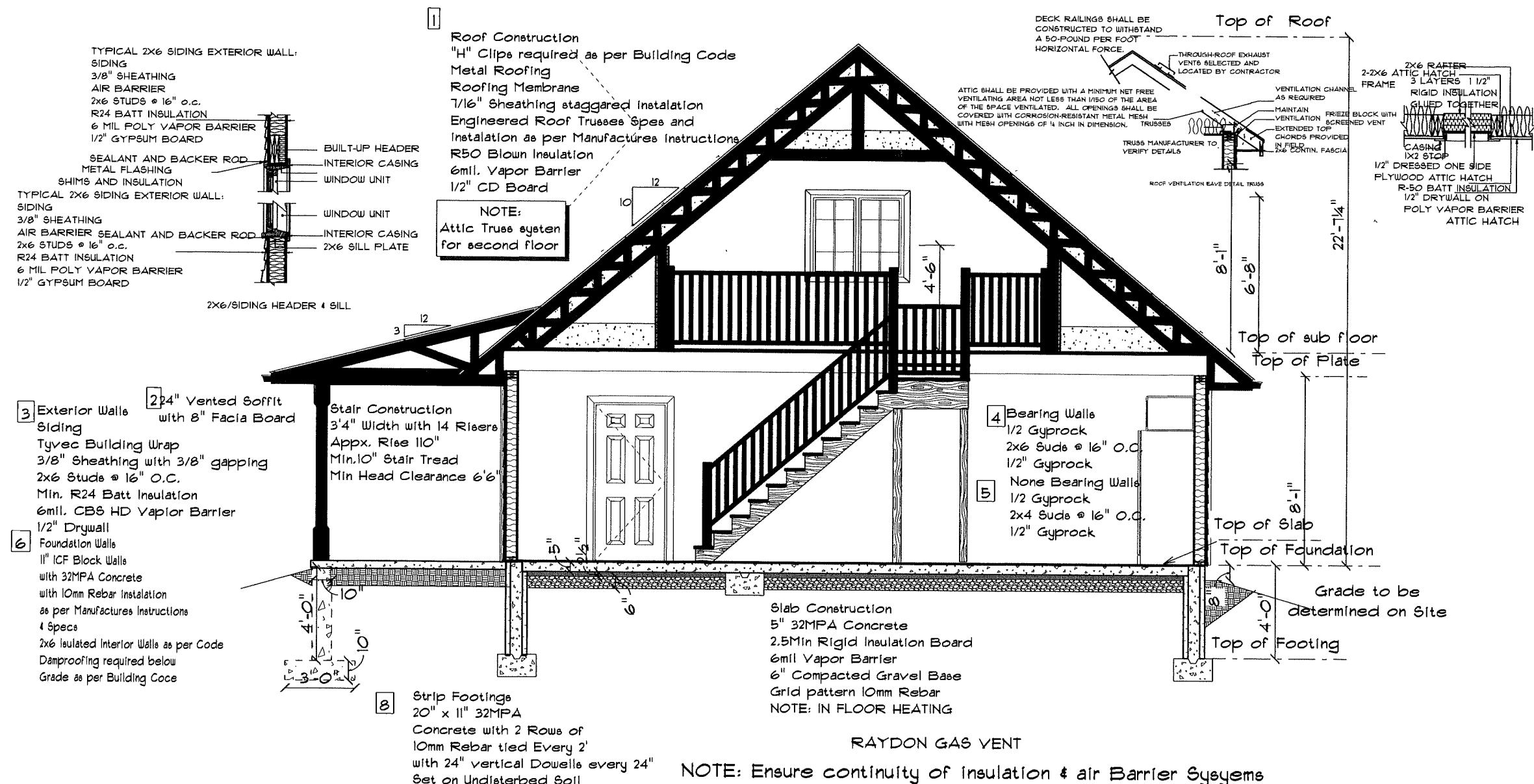
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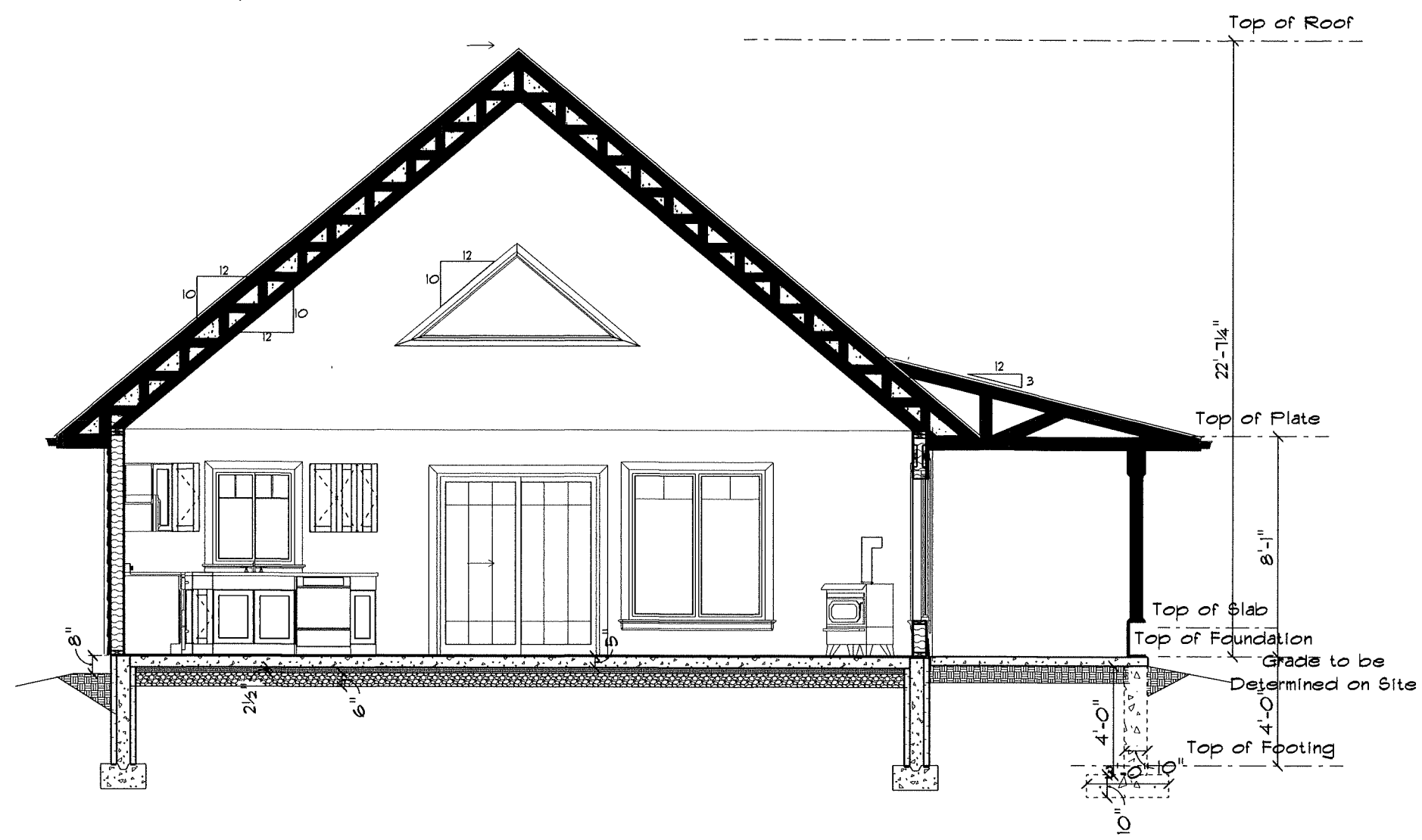
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CROSS SECTION A



CROSS SECTION B

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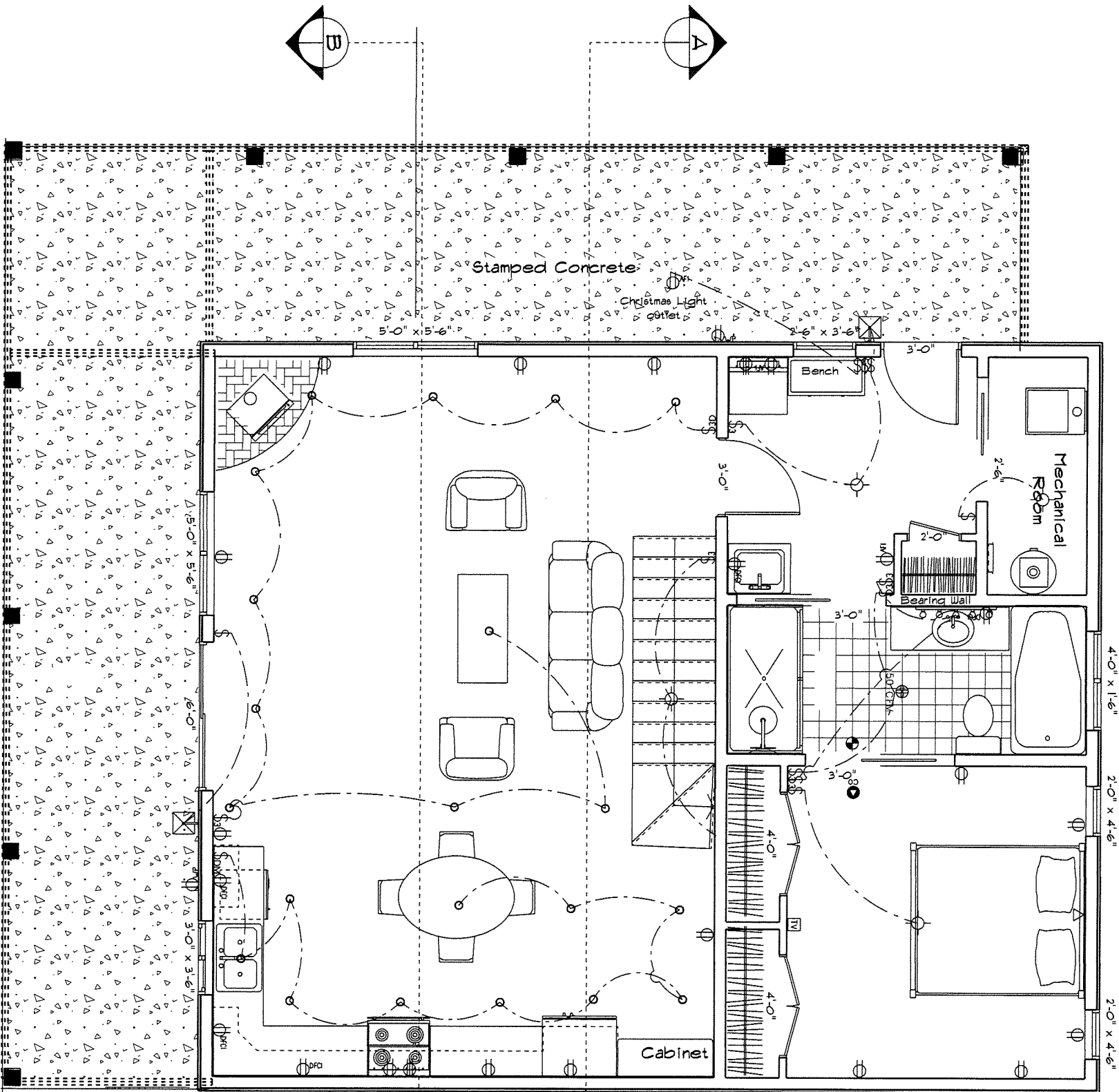
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PAGE: 10 of 11

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ELECTRICAL LEGEND		
ELECTRICAL	COUNT	SYMBOL
cable tv outlet	2	TV
can light 4inch	21	O
co detector	1	CD
dimmer switch	2	\$dm
dimmer switch 3-way	2	\$3d
dryer outlet 220v	2	\$2d
electrical panel	1	⌋
exterior craftsman light fixture	5	⊗
fan 50 CFM	1	⊗ 50 CFM
light	4	⊙
outlet	14	⊖
outlet afi	3	⊖ afi
outlet dfoi	5	⊖ dfoi
outlet wp	2	⊖ wp
smoke detector	1	⊙
stove outlet 220v	1	\$2d
switch - rocker style	3	\$
switch 3 way - rocker style	10	\$3
switch double - rocker style	1	\$\$
telephone	1	V
vanity bar light O1	2	⊙ ⊙ ⊙ ⊙

ELECTRICAL PLAN

DO NOT SCALE

MATERIAL SPECIFICATIONS

UNLESS OTHERWISE STATED ON DRAWINGS

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1 ROOF CONSTRUCTION

- * Roofing as per specification
- * 7/16" OSB sheathing c/w "H" Clips
- * Engineer approved trusses @ 24" o.c
- * R 50 loosefill insulation
- R 50 insul. on sloped ceilings
- * 6 mil poly vapor barrier
- * 1/2" C.D. board or 5/8" Drywall
- * Roof space to be vented & c/w insulated attic access.

TRUSS MANUFACTURER TO VERIFY
ROOF PITCH & TRUSS DESIGN
PRIOR TO MANUFACTURE

2 SOFFIT & FASCIA

- * Prefinished aluminum fascia
- * Prefinished aluminum vented soffit
- * Prefinished aluminum eavestrough & downspout.

3 EXTERIOR WALLS

- * Exterior siding as per Specification
- * Building paper
- * 3/8" OSB
- * 2x6 wood studs @ 16" o.c.
- * R 24 MIN. Batt Insulation
- * 6 mil poly vapor barrier
- * 1/2" drywall.

4 BEARING WALLS

- * 2x6 wood studs @ 16" o.c. (unless otherwise noted)
- * 1/2" drywall.

5 INTERIOR WALLS

- * 2x4 wood studs @ 16" o.c. (unless otherwise noted)
- * 1/2" drywall.

6 FOUNDATION WALLS

- * 20" x 8" (min) continuous concrete strip footing, with 10MM rebar 4'0" (min) below grade
- * 8" concrete foundation wall
- * Exterior dampproofing below grade
- * Parging above grade
- * Weeping tile as req'd by site
- * 2x6 wood stud strapping inside below grade c/w R22 batt insul. @ 6 mil poly vapour barrier
- * 1/2" drywall in finished areas

NOTE: IF USING ICF FOUNDATION
SPECS AS PER MANUFACTURER

7 FLOOR CONSTRUCTION

- .Finished flooring as per spec.
- 5/16" Pro board underlay in all vinyl flooring area
- 3/4" T&G OSB subfloor. (unless otherwise noted)
- glued nailed & screwed
- *Eng wood Trusses
- Size & spacing as per supplier (unless otherwise noted)

8 POST AND PAD FOOTINGS

- * 3" Adjustable steel post (unless otherwise noted)
- * 36" x 36" x 8" concrete pad footing

9 BASEMENT SLAB CONSTRUCTION

- * 4" concrete slab
- * 6 mil poly vapour barrier (as req'd)
- * 5" compacted gravel (min).

10 GARAGE SLAB CONSTRUCTION

- * 4" concrete slab c/w 10mm rebar @ 24" o.c.
- * 6" compacted gravel (min)

11 STAIR CONSTRUCTION

- * 1" plywood treads, 9" min. run & 3/4" nosing
- * 1/2" plywood risers, 8" max. rise
- * 2x12 stringers
- * Treads & risers shall have uniform rise & run in the same flight.

12 DOORS

- * All doors to be 6'8" high (unless otherwise noted)

13 WINDOWS

- * Window sizes shown are nominal
- Framer to verify R O's prior to start of work.

14 LINTEL

- * Lintels over openings <= 6'0" to be 2 - 2x10 #2 or better SPF
- * Lintels over openings > 6'0" to be 3 - 2x10 #2 or better SPF (unless otherwise noted)

15 CANTILEVERED FLOORS

- * 3/8" OSB sheathing
- * 6mil poly vapour barrier
- * R 24 batt insulation
- * Prefinished alum. soffit (as req'd)

16 GARAGE WALLS

- * Exterior siding as per specification
- * Building paper ,Insulation & poly 3/8"Plywood sheathing
- * 2x6 wood studs @ 24" o.c (unless otherwise noted)

GENERAL NOTES

1. DO NOT SCALE DRAWINGS.
2. All work to conform to the Alberta Building Code
3. Written specifications take precedence over drawing notes.
4. Any errors or omissions are to be reported to the designer.
5. All dimensions are conceptual. Changes maybe req'd to meet specific site conditions.
6. All elevations are conceptual. Changes maybe req'd. to meet specific site conditions.
7. Separation between garage & house to be constructed as per Alberta Building Code
8. Doors from garage to house are to have weatherstripping & self closing device.
9. Garage slabs to be sloped towards front of garage.

10. Metal wood burning fireplaces are to be U. L. C. approved, c/w 16" (400mm) non-combustible hearth.

11. Supply mechanical or natural ventilation to all rooms as per Alberta Building Code

12. Supply ventilation for rough-in plumbing as per Alberta Building Code

13. Provide adequate ventilation & access to all roof spaces as per Alberta Building Code

14. Attic access hatches to be weatherstripped, insulated with R 34 batt insulation & 6 mil ploy vapor barrier.

15. All brick & stone facing to be supported on steel angle iron.

16. Framer to provide full end bearing support to all beams lintel & posts.

17. Dampproofing required below slab as per Art. 9.13.6.1 ABC

18. Dampproofing req'd at foundation wall as per Alberta Building Code

19. Step footing to be 600 mm (max) rise & 600mm (min) run as per Alberta Building Code

20. 6 Mil poly vapor barrier req'd as per Albeta Building Code

21. All wall studs to be continuous & full height in rooms with cathedral or vaulted ceilings as per Alberta Building Code

22. Provide adequate guards, railing or stub walls as per Alberta Building Code

23. " H " clips required for roof sheathing as per Alberta Building Code

24. Flashing required at horizontal junctions & exterior openings as per Alberta Building Code

25. 15.9 mm Gypsum board req'd. where studs are spaced at 600mm o.c. as per Alberta Building Code

26. 12.7 mm Ceiling board req'd. where spacing of supports is at 600 mm o.c. as per Product Listing 85-PL-208

27. Insulation to be protected from mechanical damage as per Alberta Building Code

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DESIGNED FOR
Dave & Sandra Dalzell
Pincher Creek
403-632-5033

DATE:

Feb. 6 2025

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PAGE: 11 of 11

CLIENT:

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2025-19 Aerial



All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.

1:4513

100 m

200 ft

Distance: 186.7 m

Existing House for Replacing

Distance: 578.74 m

Distance: 77.25 m

Distance: 218.4 m

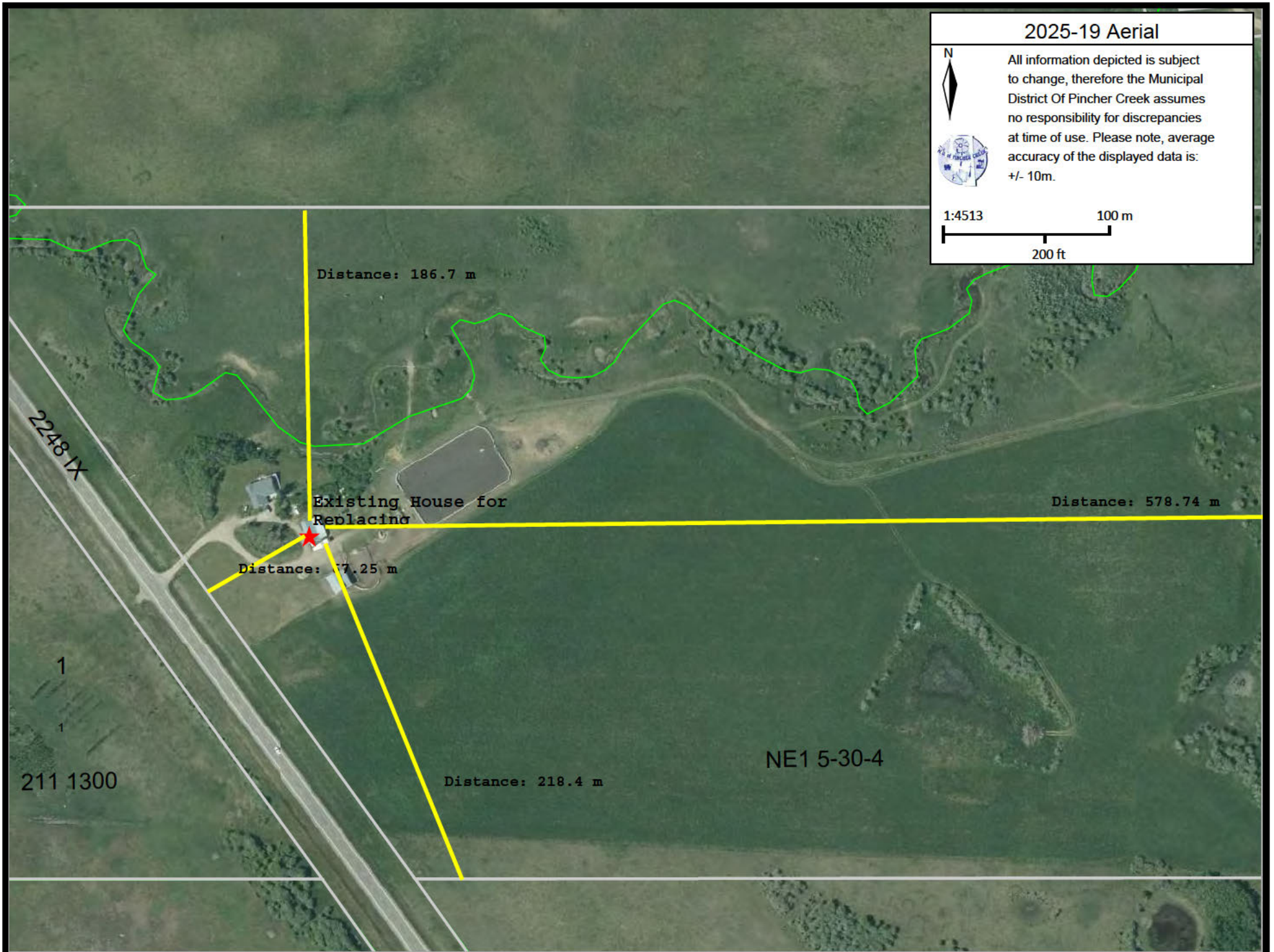
NE1 5-30-4

2248 IX

1

1

211 1300





2025-19 Aerial




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1:2256

50 m

200 ft

Recommendation to Municipal Planning Commission

TITLE: DEVELOPMENT PERMIT No. 2025-21 Applicant: Daniel Desabrais Location: Lot 4, Block 1, Plan 1612164 within NW 26-7-2 W5 Division: 5 Size of Parcel: 2.43 ha (29.83 Acres) Zoning: Agriculture (A) Development: Moved-In Residential Building	
PREPARED BY: Laura McKinnon	DATE: May 1, 2025
DEPARTMENT: Planning and Development	
Signature: _____	ATTACHMENTS: 1. Development Permit Application 2025-21 2. Moved-In Residential Building Photo & Drawings 3. GIS Site Plan 4. Adjacent Landowner Comment
APPROVALS:	
_____ Department Director	_____ Date
_____ Department Director	_____ Date
_____ Department Director	_____ Date
_____ Department Director	_____ Date

RECOMMENDATION:

That Development Permit Application No. 2025-10, for a Moved-In Residential Home, be approved subject to the following Condition(s):

Condition(s):

1. That this development meets the minimum provisions as required in Land Use Bylaw 1349-23.
2. That the home be placed on a basement or foundation to the satisfaction of the National Building Code, Alberta Edition.
3. That this development be constructed as per the submitted and approved plans.

BACKGROUND:

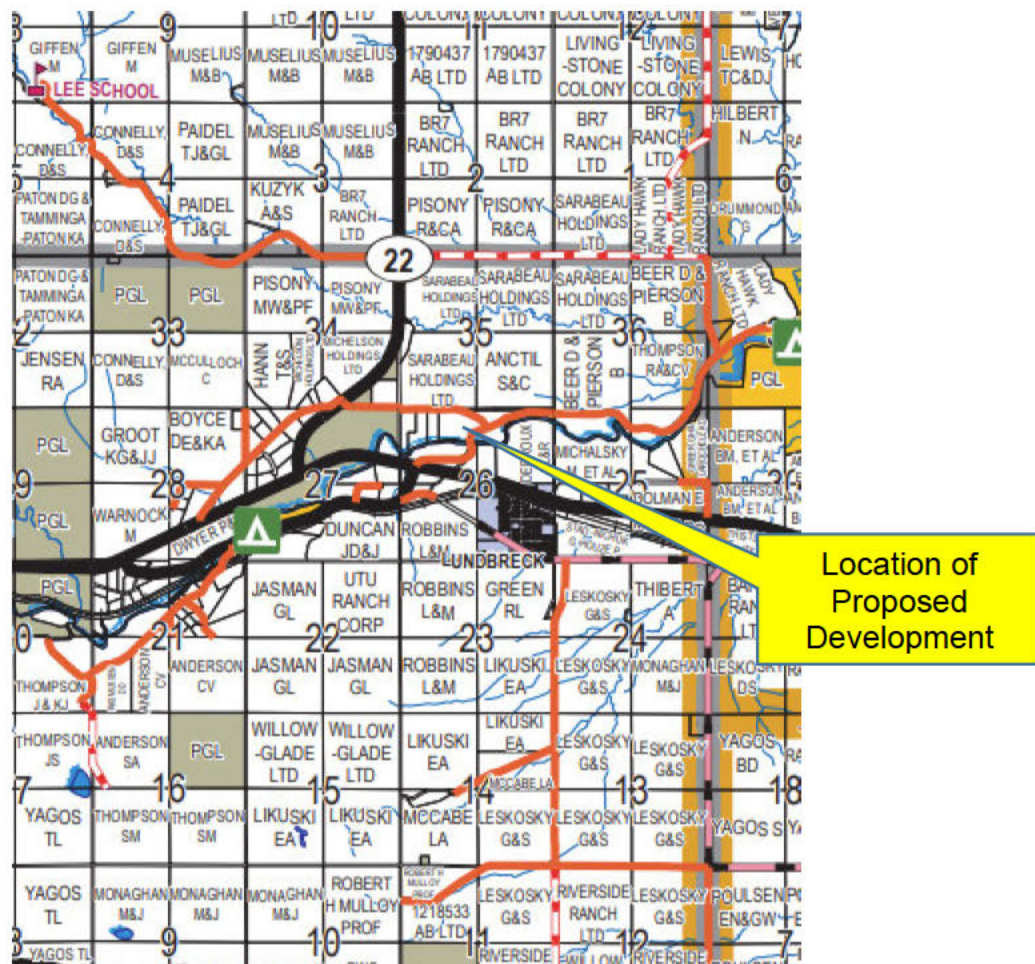
- On April 17, 2025, the MD accepted the Development Permit Application No. 2025-21 from applicant Daniel Desabrais. (*Attachment No. 1*).
- This application is to allow for a previously lived in residence to be moved from Castle Mountain Resort, and placed onto this parcel. Additionally, the applicant is applying for an accessory building which is a permitted use.
- This application is being placed in front of the MPC because:
 - Within the Agriculture (A) Land Use District, a Moved-In Residential Building is a Discretionary Use.
- In Land Use Bylaw 1349-23, Moved-In Residential Building is defined as:

Recommendation to Municipal Planning Commission

A "Single-detached residence" that has been constructed or located on site, occupied and then relocated to another site.

- The application was forwarded to the adjacent landowners for comment; one response was received at the time of this report being written.

Location of Proposed Development





Municipal District of Pincher Creek
P.O. Box 279
Pincher Creek, AB T0K 1W0
Phone: 403.627.3130 • Fax: 403.627.5070

DEVELOPMENT PERMIT APPLICATION

All grey areas will be completed by the Planning Authority

DEVELOPMENT PERMIT APPLICATION NO. 2025-21

Date Application Received Apr 14/25

PERMIT FEE \$100 Permitted
\$150 Discretionary

Date Application Accepted Apr 17/25

RECEIPT NO. _____

Tax Roll # _____

IMPORTANT: This information may also be shared with appropriate government / other agencies and may also be kept on file by those agencies. This information may also be used by and for any or all municipal programs and services. The application and related file contents will become available to the public and are subject to the provisions of the Freedom of Information and Protection of Privacy Act (FOIP). If you have any questions about the collection of this information, please contact the Municipal District of Pincher Creek No. 9.

SECTION 1: GENERAL INFORMATION

Applicant: Dan Desabrais

Address: P.O. Box 12, Lundbreck AB T0K 1H0

Telephone: _____ Email: _____

Owner of Land (if different from above): _____

Address: _____ Telephone: _____

Interest of Applicant (if not the owner): _____

SECTION 2: PROPOSED DEVELOPMENT

I/We hereby make application for a Development Permit under the provisions of Land Use Bylaw No. in accordance with the plans and supporting information submitted herewith and which forms part of this application.

A brief description of the proposed development is as follows:

Moving an existing house from off site onto a new basement. Building a detached Garage.

Legal Description: Lot(s) 4

Block 1

Plan 1612164

Quarter Section NW26-7-2-5

Estimated Commencement Date: May 1st 2025

Estimated Completion Date: Jan 1st 2026

SECTION 3: SITE REQUIREMENTSLand Use District: Agriculture - A Division: 5☐ Permitted Use ☒ Discretionary Use

Is the proposed development site within 100 metres of a swamp, gully, ravine, coulee, natural drainage course or floodplain?

☐ Yes ☒ No

Is the proposed development below a licenced dam?

☐ Yes ☒ No

Is the proposed development site situated on a slope?

☒ Yes ☐ No

If yes, approximately how many degrees of slope? 6.22 degrees

Has the applicant or a previous registered owner undertaken a slope stability study or geotechnical evaluation of the proposed development site?

☐ Yes ☒ No ☐ Don't know ☐ Not required

Could the proposed development be impacted by a geographic feature or a waterbody?

☐ Yes ☒ No ☐ Don't think so

PRINCIPAL BUILDING	Proposed	By Law Requirements	Conforms
(1) Area of Site	29.8 Acres		
(2) Area of Building	1209sqft.		
(3) %Site Coverage by Building (within Hamets)			
(4) Front Yard Setback Direction Facing:	72.66m N.	30M (98.4ft)	Yes
(5) Rear Yard Setback Direction Facing:	227.69m S.	30M (98.4ft)	Yes
(6) Side Yard Setback: Direction Facing:	82.8m N.E.	30M (98.4ft)	Yes
(7) Side Yard Setback: Direction Facing:	195.2m W.	75M (98.4ft)	Yes
(8) Height of Building	27'		
(9) Number of Off Street Parking Spaces	4		

Other Supporting Material Attached (e.g. site plan, architectural drawing)

Site Plan, architectural drawing

ACCESSORY BUILDING	Proposed	By Law Requirements	Conforms
(1) Area of Site	29.8 Acres		
(2) Area of Building	840sqft.		
(3) % Site Coverage by Building (within Hamlets)			
(4) Front Yard Setback Direction Facing:	77.59m N.	30M (98.4ft)	Yes
(5) Rear Yard Setback Direction Facing:	226.91m S.	30M (98.4ft)	Yes
(6) Side Yard Setback: Direction Facing:	72.66m N.E.	30M (98.4ft)	Yes
(7) Side Yard Setback: Direction Facing:	195.2m W.	7.5M (24.6ft)	Yes.
(8) Height of Building	18'		
(9) Number of Off Street Parking Spaces	2car garage		

Other Supporting Material Attached (e.g. site plan, architectural drawing)

Site plan, architectural drawing

SECTION 4: DEMOLITION

Type of building being demolished : _____

Area of size: _____

Type of demolition planned: _____

SECTION 5: SIGNATURES (both signatures required)

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to this application for a Development Permit.

I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application.

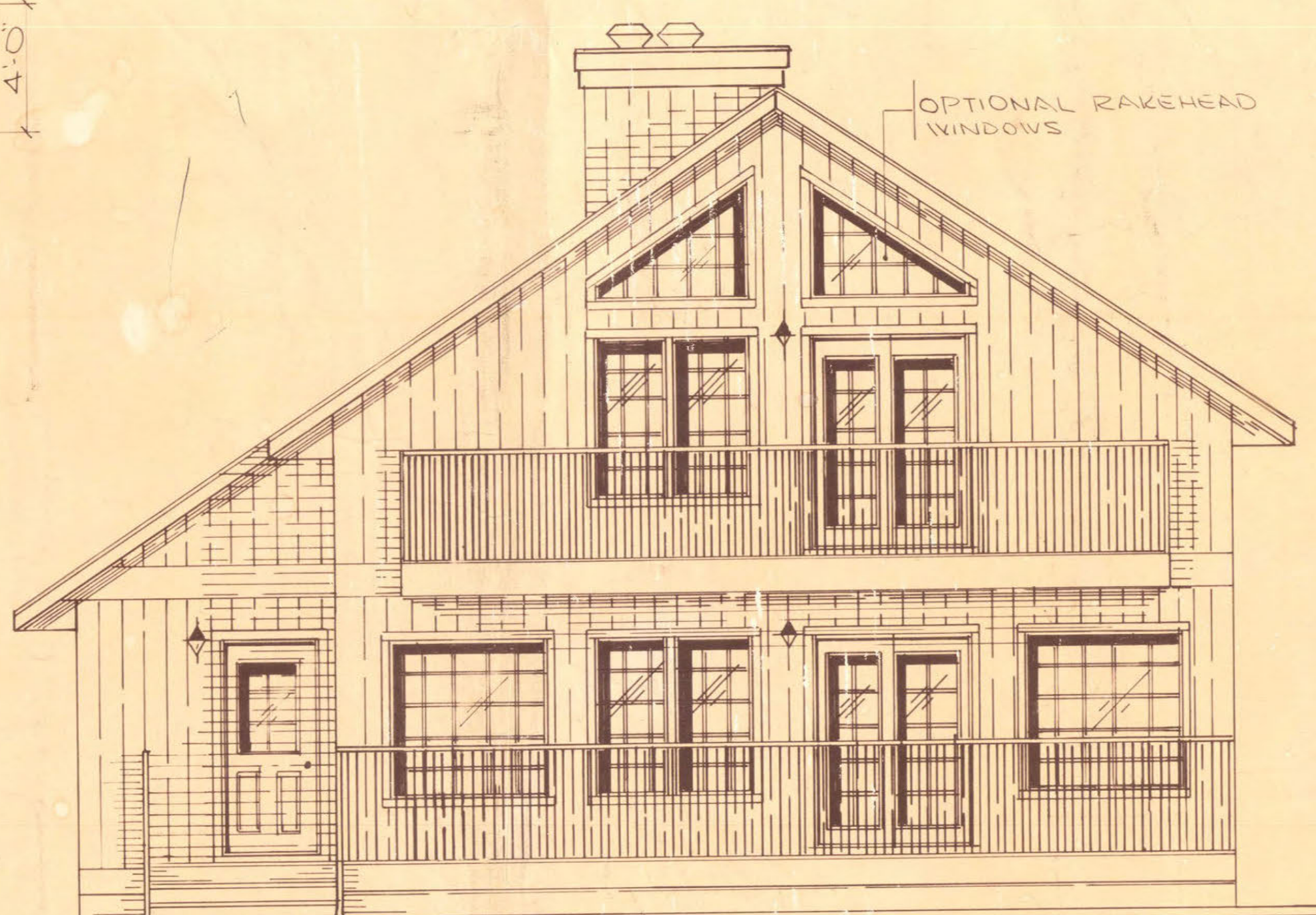
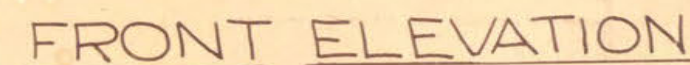
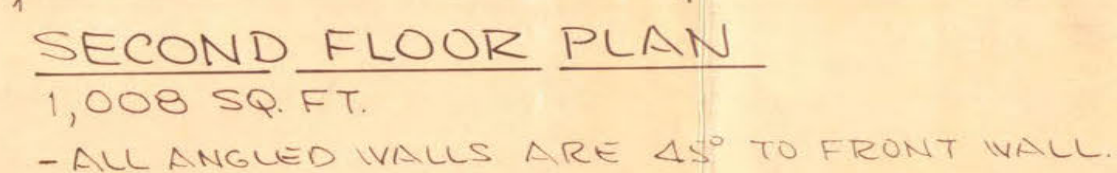
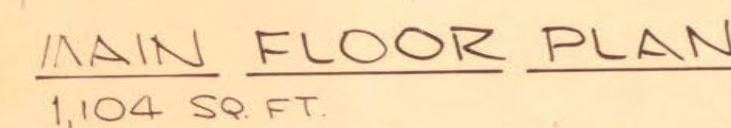
DATE: April 13, 2025






















[Signature]
Applicant

[Signature]
Registered Owner

Information on this application form will become part of a file which may be considered at a public meeting.





-LEGEND-							
	.. ELECTRICAL OUTLET		... CEILING MOUNTED LIGHT		.. EXHAUST FAN		.. SOIL STACK
	.. 220V OUTLET		.. WALL MOUNTED LIGHT		.. HEAT VENT		.. 2'x 4" WALL
	.. WEATHERPROOF OUTLET		.. ELECTRIC LIGHT SWITCH		.. COLD AIR VENT		.. 2'x 6" WALL
	.. G.F.I. OUTLET (RAZOR)		.. 3-WAY LIGHT SWITCH		.. FLOOR DRAIN		.. FLOURESCENT LIGHT
	.. PULL CHAIN LIGHT		.. TELEPHONE JACK		.. HOSE BIB		
			.. SMOKE DETECTOR		.. TAPS		

-NOTES- ALL EXTERIOR WALLS TO BE 2 X 6 K.D. SPRUCE STUDS @ 16" O.C.
 - ALL EXTERIOR WALL OUTLETS ARE TO BE WRAPPED IN POLY
 - ALL DIMENSIONS ARE TO ROUGH FRAME ONLY
 - DIMENSIONS MUST BE READ, NOT SCALED FROM DRAWINGS
 - ALL CONSTRUCTION IS TO BE OF FIRST QUALITY & IS TO BE DONE IN ACCORDANCE WITH THE NATIONAL CODE OF CANADA,
 PROVINCIAL & LOCAL BUILDING REGULATIONS
 - ALL TRUSSES SHOULD BE ENGINEERED, APPROVED, & VARIED
 - ALL WINDOW DIMENSIONS ARE GLASS SIZE
 - FLASHING ABOVE ALL EXTERIOR WINDOWS & DOORS

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COPY

Ph. 329-6106
ARCHITECTURAL
DESIGN CONSULTANTS

APPROVED: 

SHEET: 1 of 2

DATE: AUG. 19/96

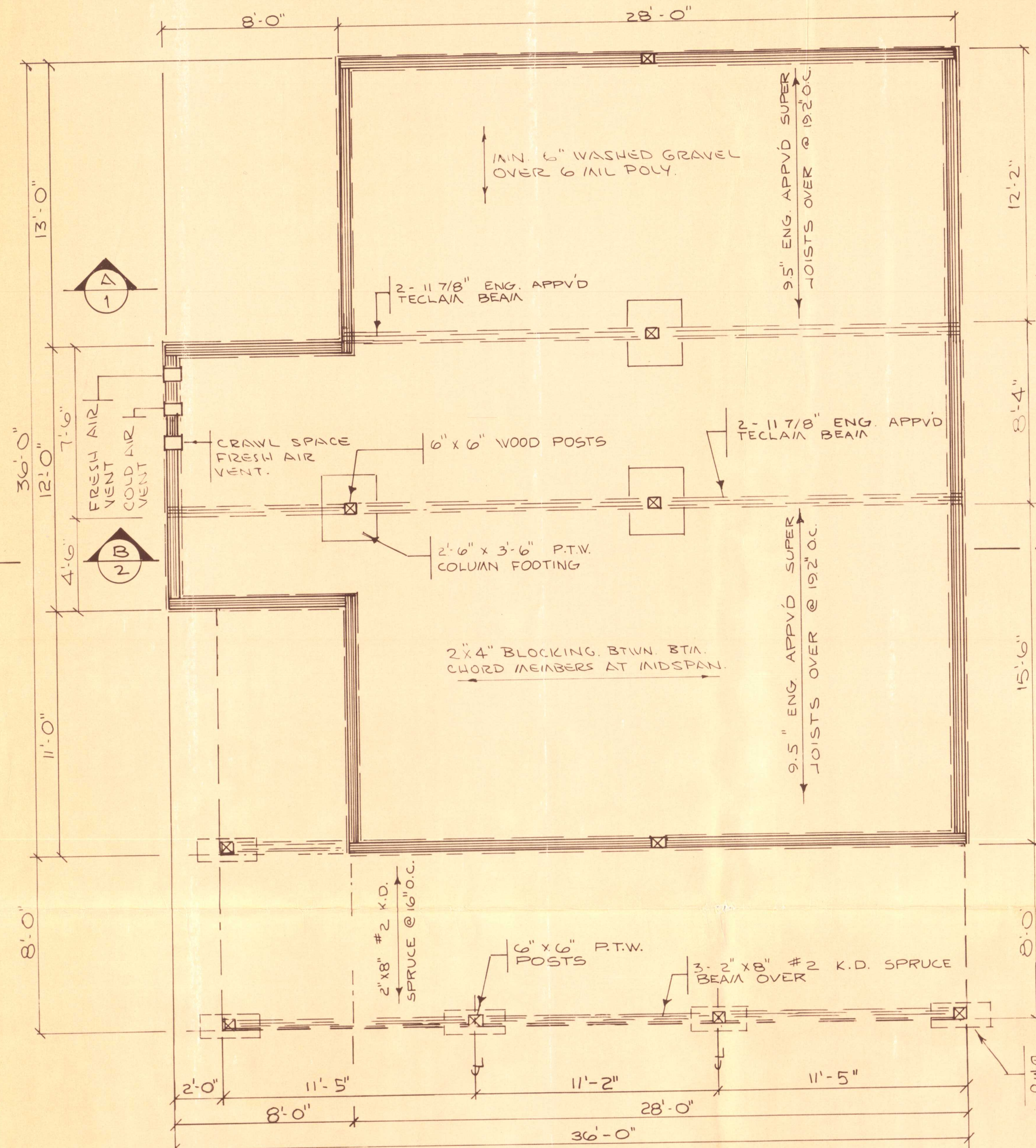
DRAWN BY:
JAMES
WACK

SCALE: $1/4" = 1'-0"$

DRAWING NO: 96-0

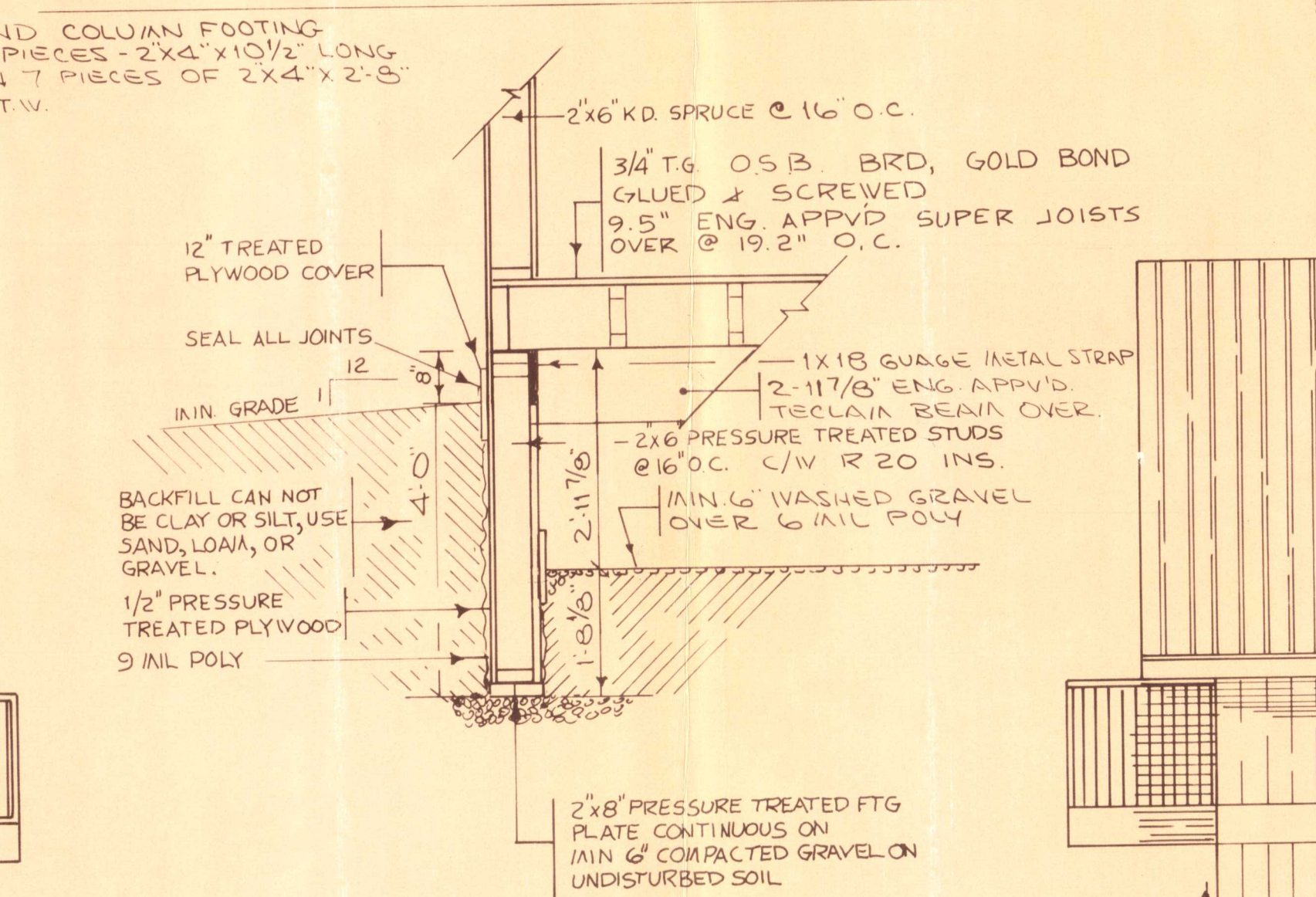
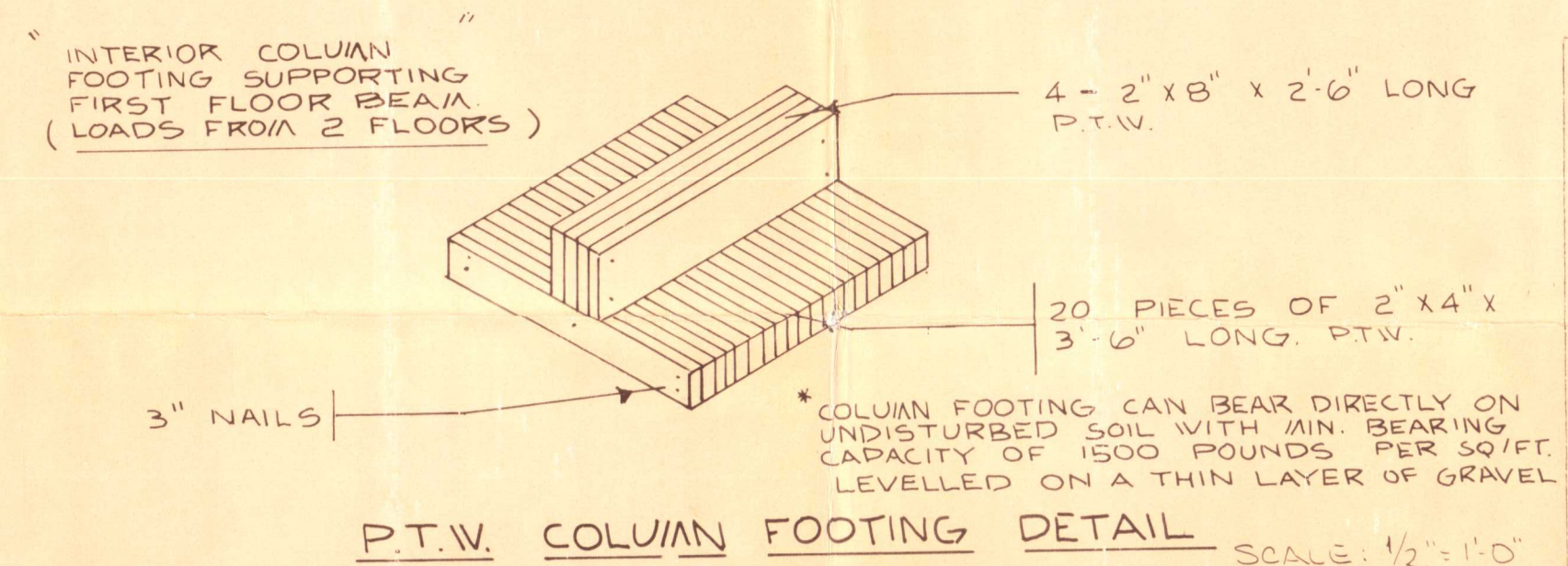
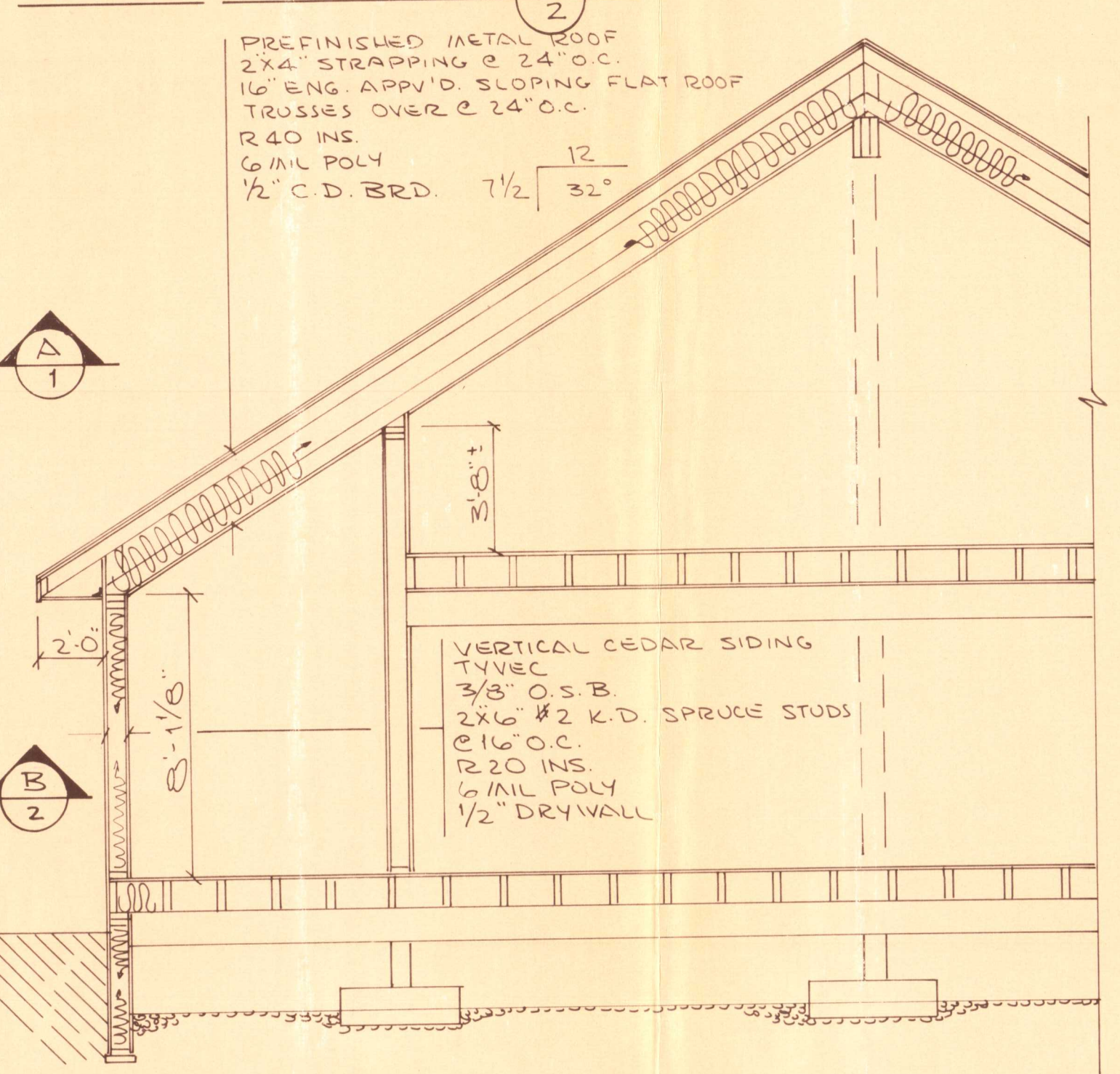
Client: CUSTOM CABIN FOR
MR + MRS. MURPHY



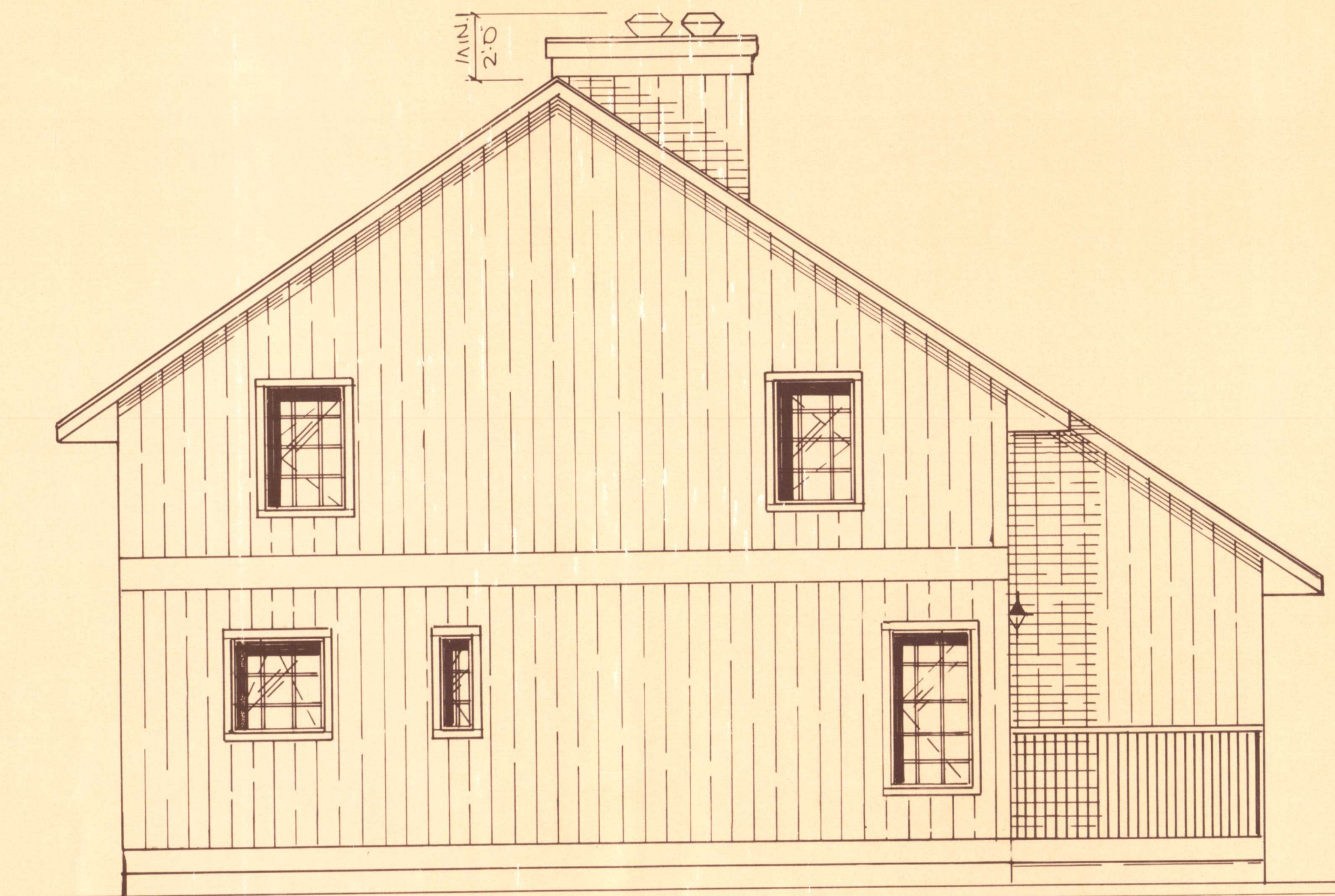


FOUNDATION PLAN

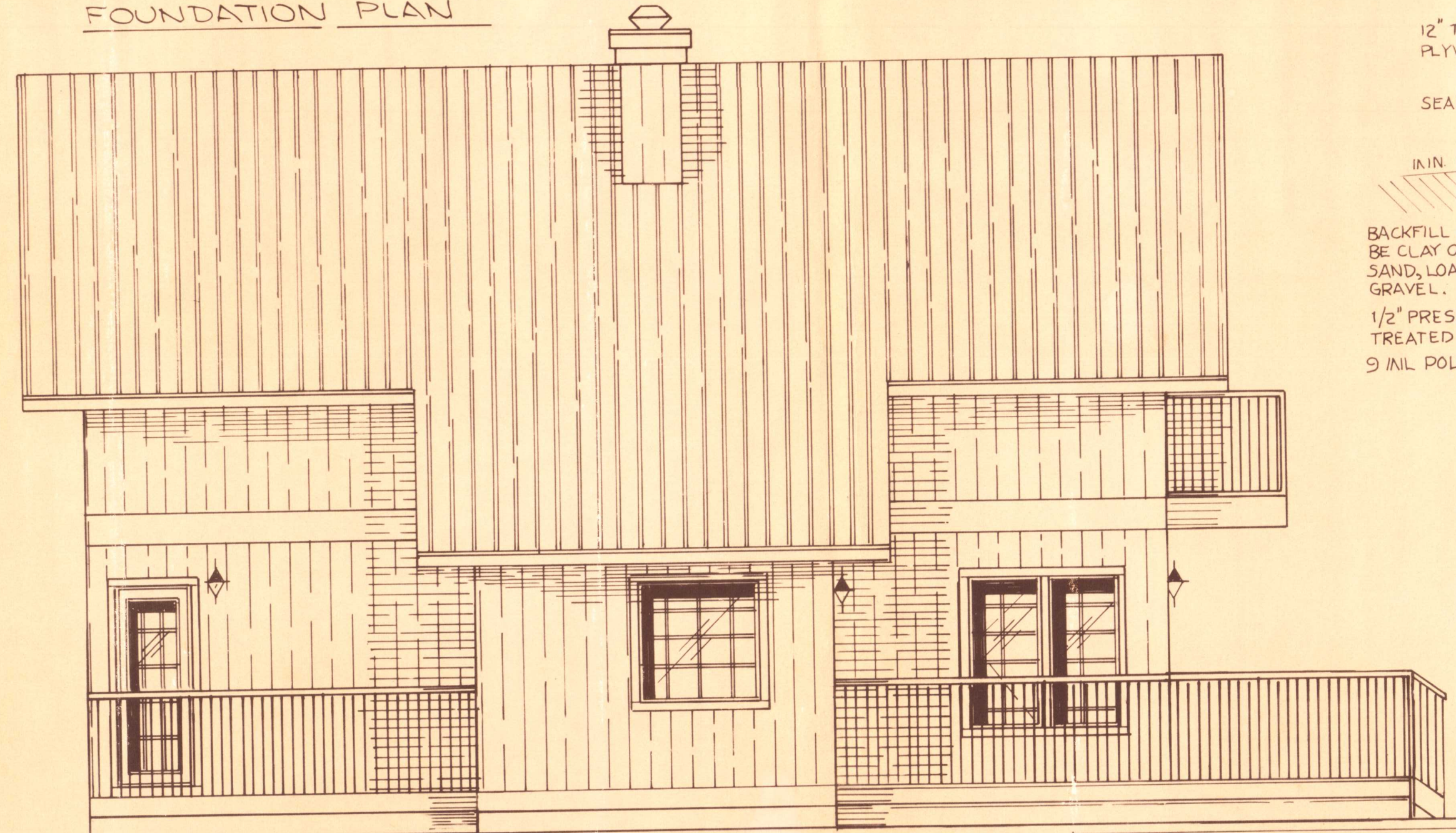
CROSS-SECTION



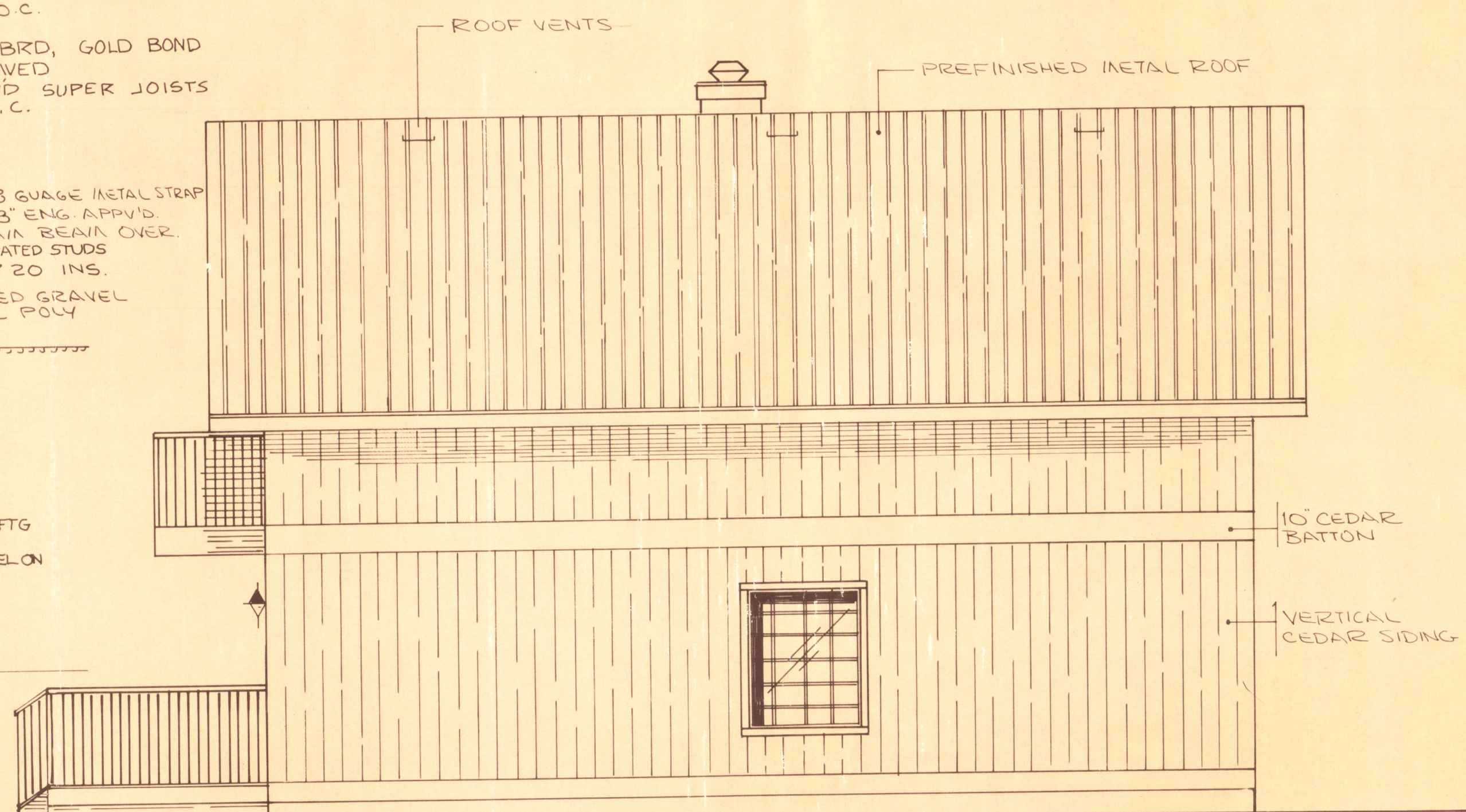
P.W.F. DETAIL
SCALE 1/2" = 1'-0"



REAR ELEVATION



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

- ALL 5/8" PLY FOR WALLS TO RUN HORIZONTAL TO WALL STUDS.
- THE CANADIAN WOOD COUNCIL (CWC) DATAFILE WB-3, 1981; AND CWC DATAFILE WB-4, 1983 FORMS PART OF THIS SPECIFICATION.
- ALL FASTENERS AND CONNECTORS MUST COMPLY WITH CSA STANDARD S406-M; AND CSA STANDARD B111, WIRE NAILS, SPIKES, AND STAPLES. THEY MUST ALSO BE MADE OF 304 OR 316 STAINLESS STEEL, OR HOT DIPPED GALVANIZED AS RECOMMENDED BY THE CANADIAN WOOD COUNCIL.
- THE CONTRACTOR / OWNER IS TO OBTAIN FROM THE SUPPLIER AND DELIVER TO THE INSPECTING ENGINEER A CERTIFICATE OF TREATMENT, STATING THAT THE MATERIAL MEETS WITH THE REQUIREMENTS FOR PRESERVED WOOD FOUNDATIONS.
- ALL LUMBER AND PLYWOOD MUST CARRY THE STAMP OF AN APPROVED GRADING AGENCY, BE TREATED IN ACCORDANCE WITH CSA STANDARD 080-15, AND BE EQUAL TO OR BETTER THAN THAT SPECIFIED FOR THE REQUIRED BACKFILL AND TYPE OF HOME.
- ALLOWABLE BACKFILL DEPTHS MUST CONFORM TO THE LIMITATIONS AS GIVEN IN TABLE 6 AND 7 OF THE CWC DATAFILE WB-4 1983. NAILING REQUIREMENTS AS INDICATED IN TABLE 3 OF THE SAME MANUAL MUST BE CONFORMED TO.
- ADHESIVES CONTAINING PETROLEUM SOLVENTS MUST NOT BE USED BECAUSE THEY WILL ATTACK THE POLYETHYLENE.
- THE PRESERVED WOOD FOUNDATION MUST BE INSPECTED BEFORE AND DURING BACKFILL BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.

THIS COPYRIGHT DRAWING IS THE PROPERTY OF MACK ARCHITECTURAL DESIGN CONSULTANTS. NO PORTION OF THIS DRAWING MAY BE REPRODUCED OR REPRINTED IN ANY MANNER WITHOUT PREVIOUS WRITTEN CONSENT OF REGISTERED OWNERS.

COPY

Ph. 329-6106

ARCHITECTURAL DESIGN CONSULTANTS

APPROVED:

DESIGN BY:

DATE: AUG. 19/96

DRAWING NO: 96-031

SCALE: 1/4" = 1'-0"


DRAWING NO: 96-031

DRAWN BY: RICH MACK

DRAWING NO: 96-031

CUSTOM CABIN FOR: MR & MRS. MURPHY

DRAWING NO: 96-031

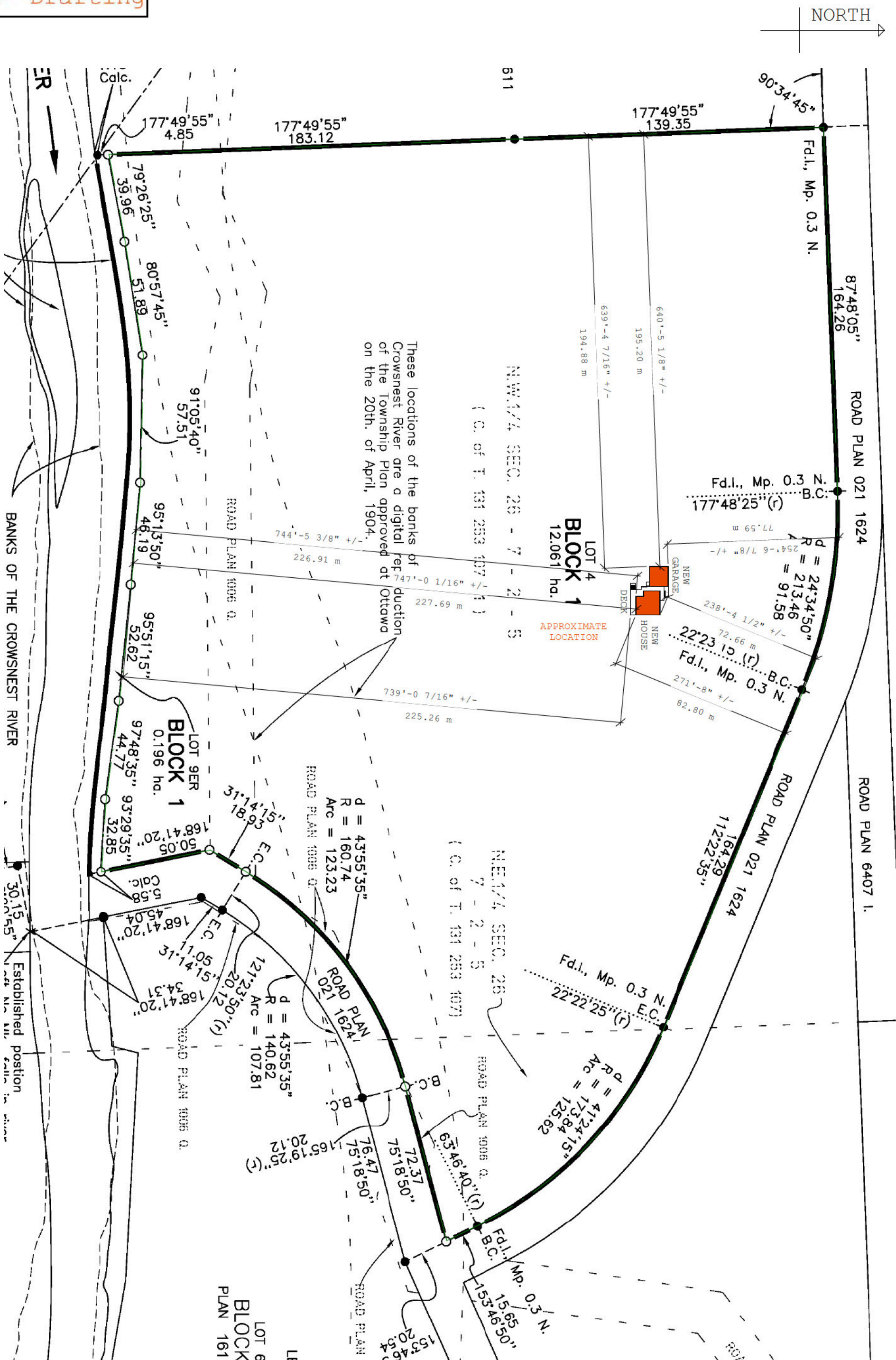
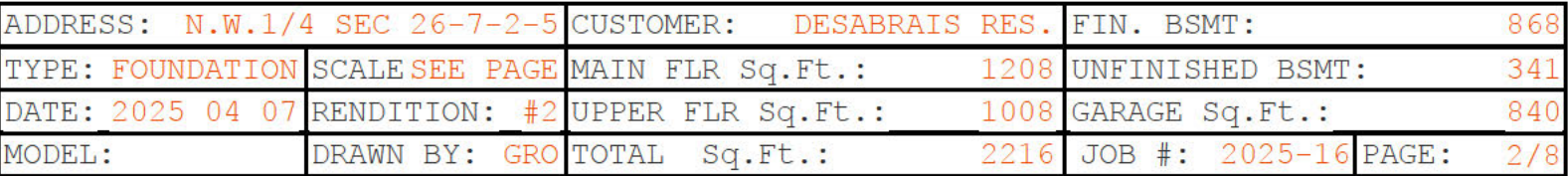
 <div>Red Beard Drafting</div>	ADDRESS: N.W.1/4 SEC 26-7-2-5		CUSTOMER: DESABRAIS RES.		FIN. BSMT: 868	
	TYPE: FOUNDATION	SCALE SEE PAGE	MAIN FLR Sq.Ft.: 1208		UNFINISHED BSMT: 341	
	DATE: 2025 04 07	RENDITION: #2	UPPER FLR Sq.Ft.: 1008		GARAGE Sq.Ft.: 840	
	MODEL:	DRAWN BY: GRO	TOTAL Sq.Ft.: 2216		JOB #: 2025-16	PAGE: 1/8

ADDRESS
LOT 4 BLOCK 1 PLAN N.W.1/4 SEC 26-7-2-5
LOT COVERAGE
LOT AREA: 120,768.7 SQ.M. APPROX.
BUIL. COVERAGE: 238.2 SQ.M. APPROX.
(%) COVERAGE: 0.20%

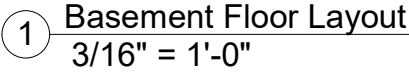
*NOTES:
1) ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED AS STATED IN THE LATEST EDITION OF THE VILLAGE OF BARNWELL STANDARD CONSTRUCTION SPECIFICATIONS
2) ALL GRASSED LANDSCAPING REQUIRED WITHIN THE PUBLIC RIGHT-OF-WAY IS TO BE COMPLETED WITH SOD



1 Site Layout
1 : 100

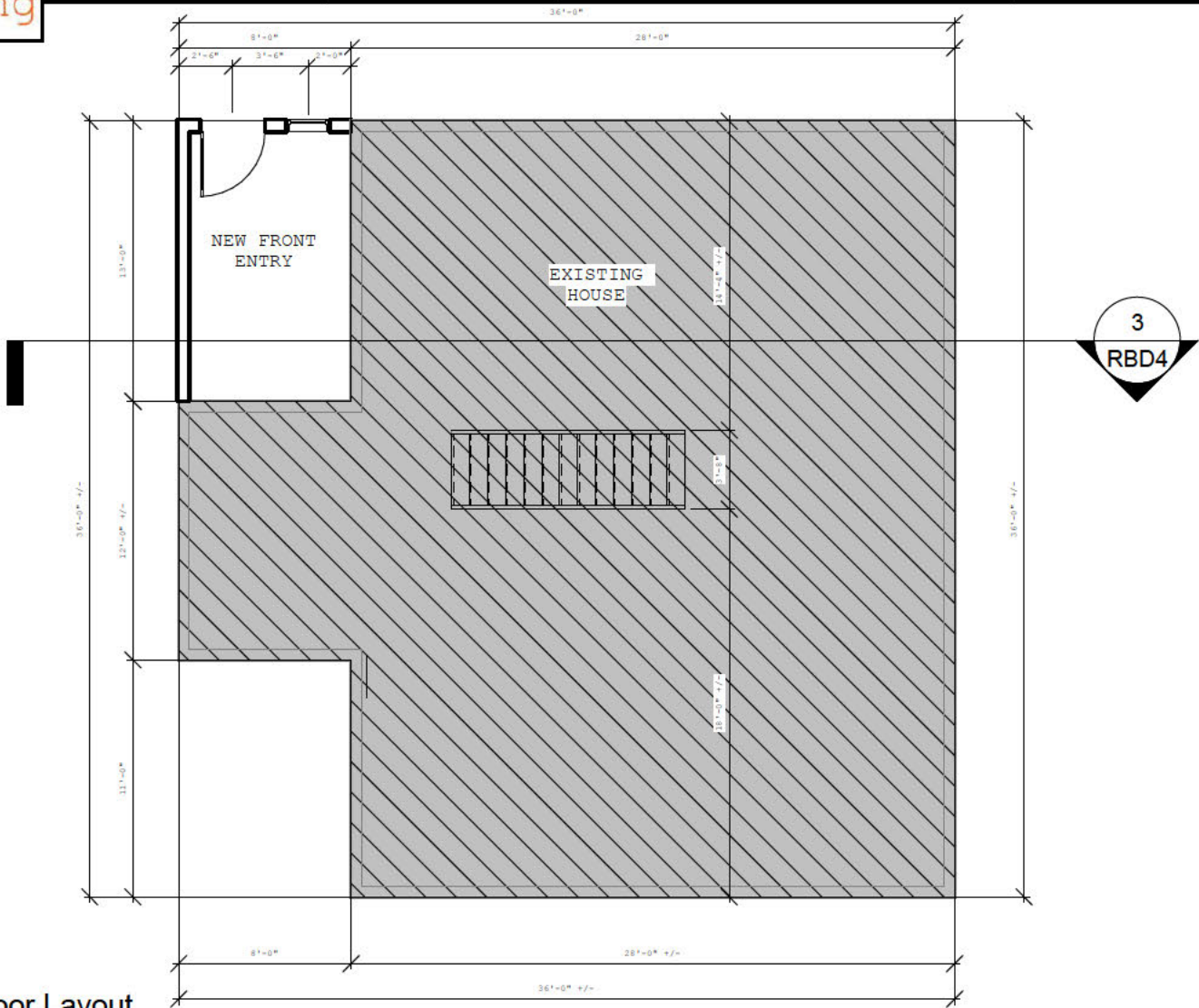


SITE PLAN (1:1600)

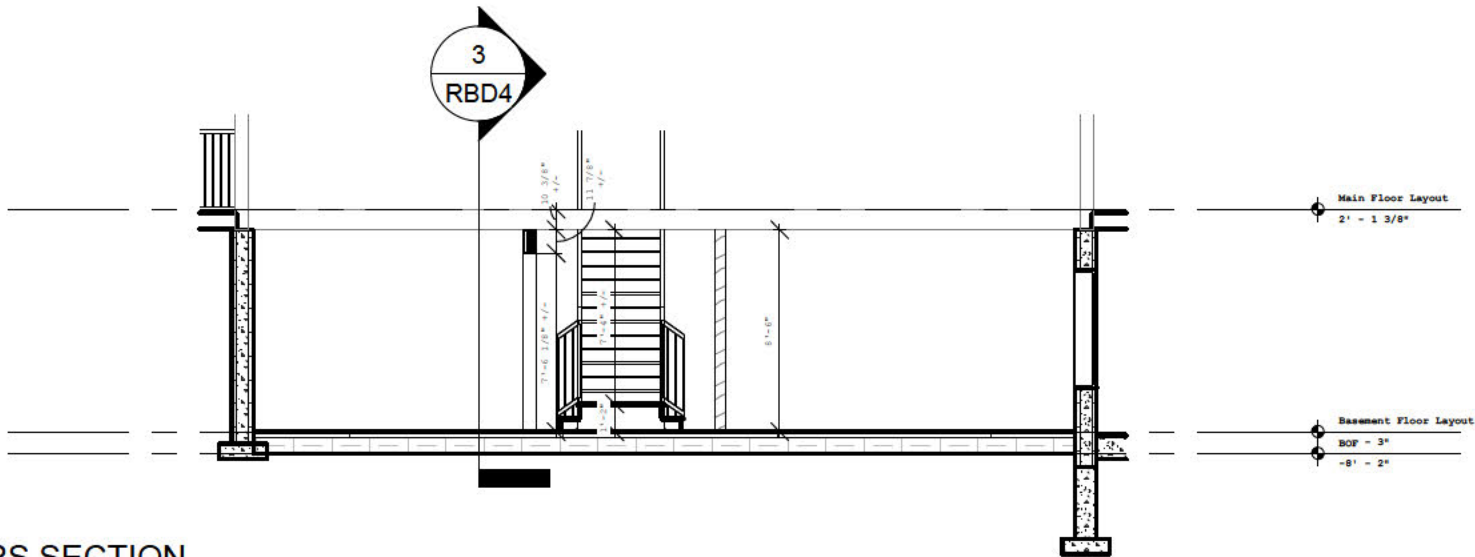




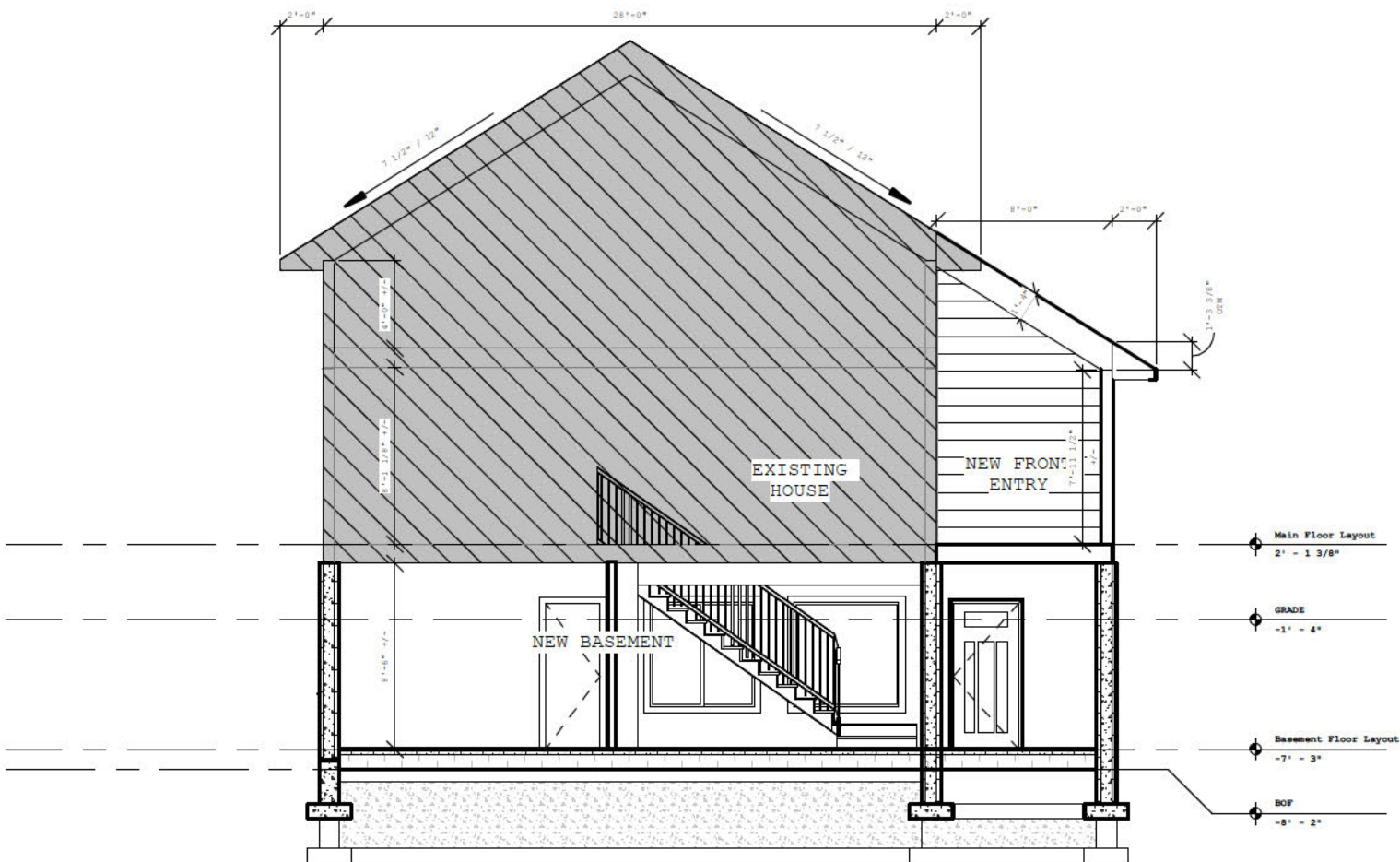
ADDRESS: N.W.1/4 SEC 26-7-2-5	CUSTOMER: DESABRAIS RES.	FIN. BSMT: 868
TYPE: FOUNDATION	SCALE: SEE PAGE	MAIN FLR Sq.Ft.: 1208
DATE: 2025 04 07	RENDITION: #2	UNFINISHED BSMT: 341
MODEL:	UPPER FLR Sq.Ft.: 1008	GARAGE Sq.Ft.: 840
DRAWN BY: GRO	TOTAL Sq.Ft.: 2216	JOB #: 2025-16
		PAGE: 5/8



1 Main Floor Layout
1/8" = 1'-0"



2 STAIRS SECTION
1/8" = 1'-0"



3 NEW FRONT ENTRY ADDITION
1/8" = 1'-0"

ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS

ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET ALBERTA BUILDING CODE
DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO ALBERTA BUILDING CODE SECTION 9.23.13 BRACING AND BONDING REQUIREMENTS AS PER CODE

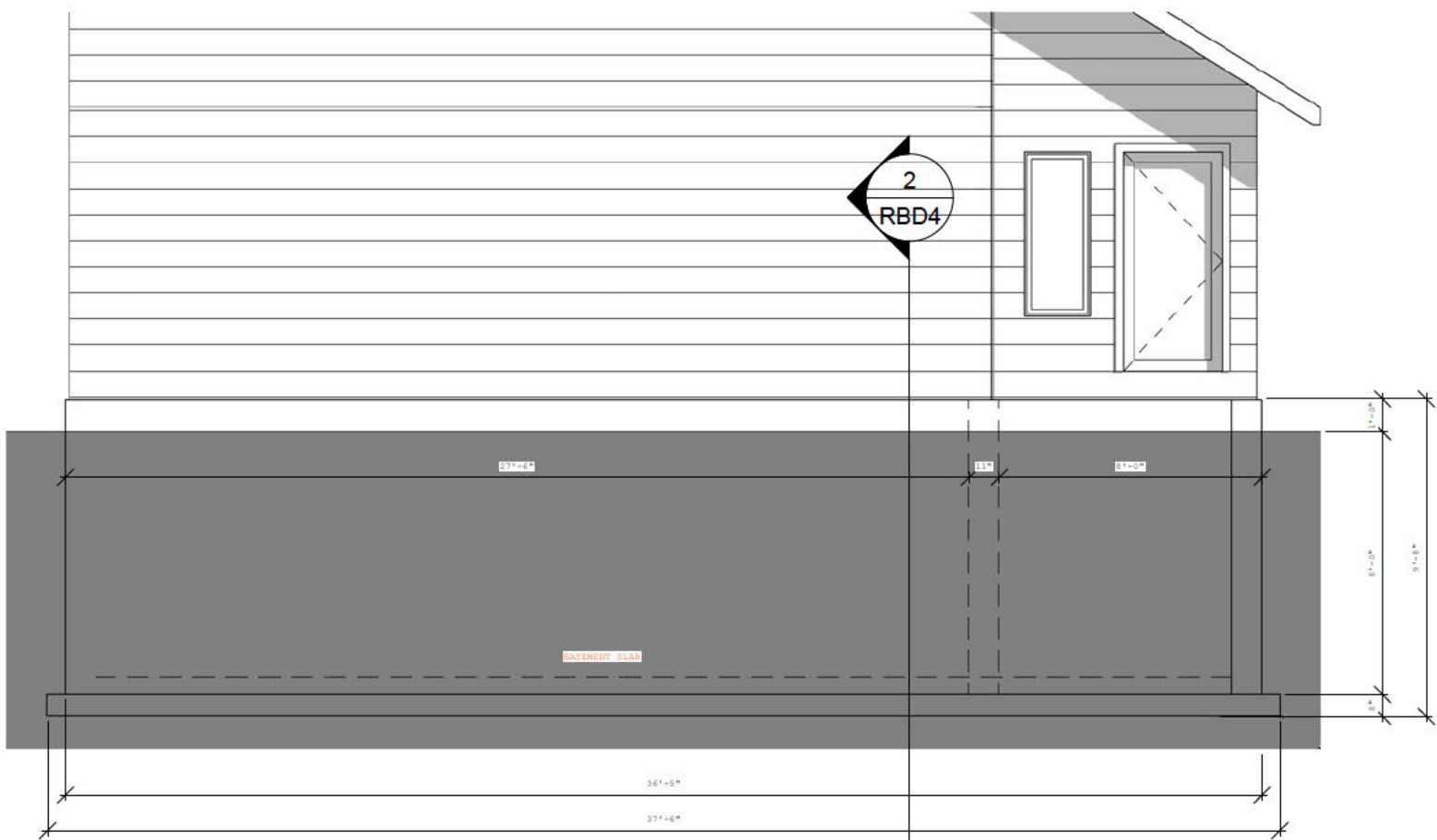


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DATE: 2025 04 07	RENDITION: #2	UPPER FLR Sq.Ft.: 1008		GARAGE Sq.Ft.: 840	
MODEL:	DRAWN BY: GRO	TOTAL Sq.Ft.: 2216		JOB #: 2025-16	PAGE: 4/8

ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET ALBERTA BUILDING CODE



1 Elevation - South
3/16" = 1'-0"



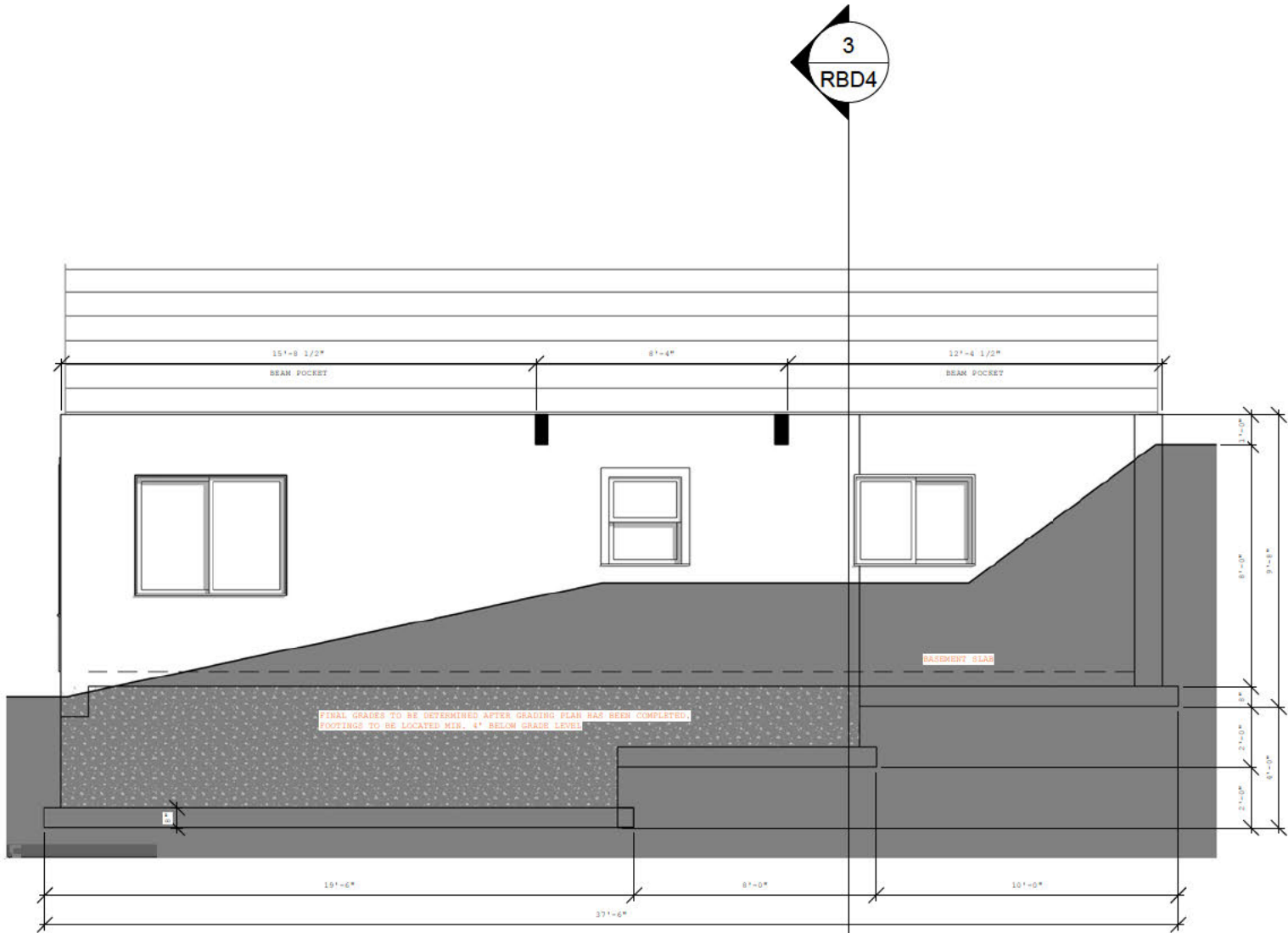
2 Elevation - North
3/16" = 1'-0"

DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE, CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO ALBERTA BUILDING CODE SECTION 9.23.13 BRACING AND BONDING REQUIREMENTS AS PER CODE

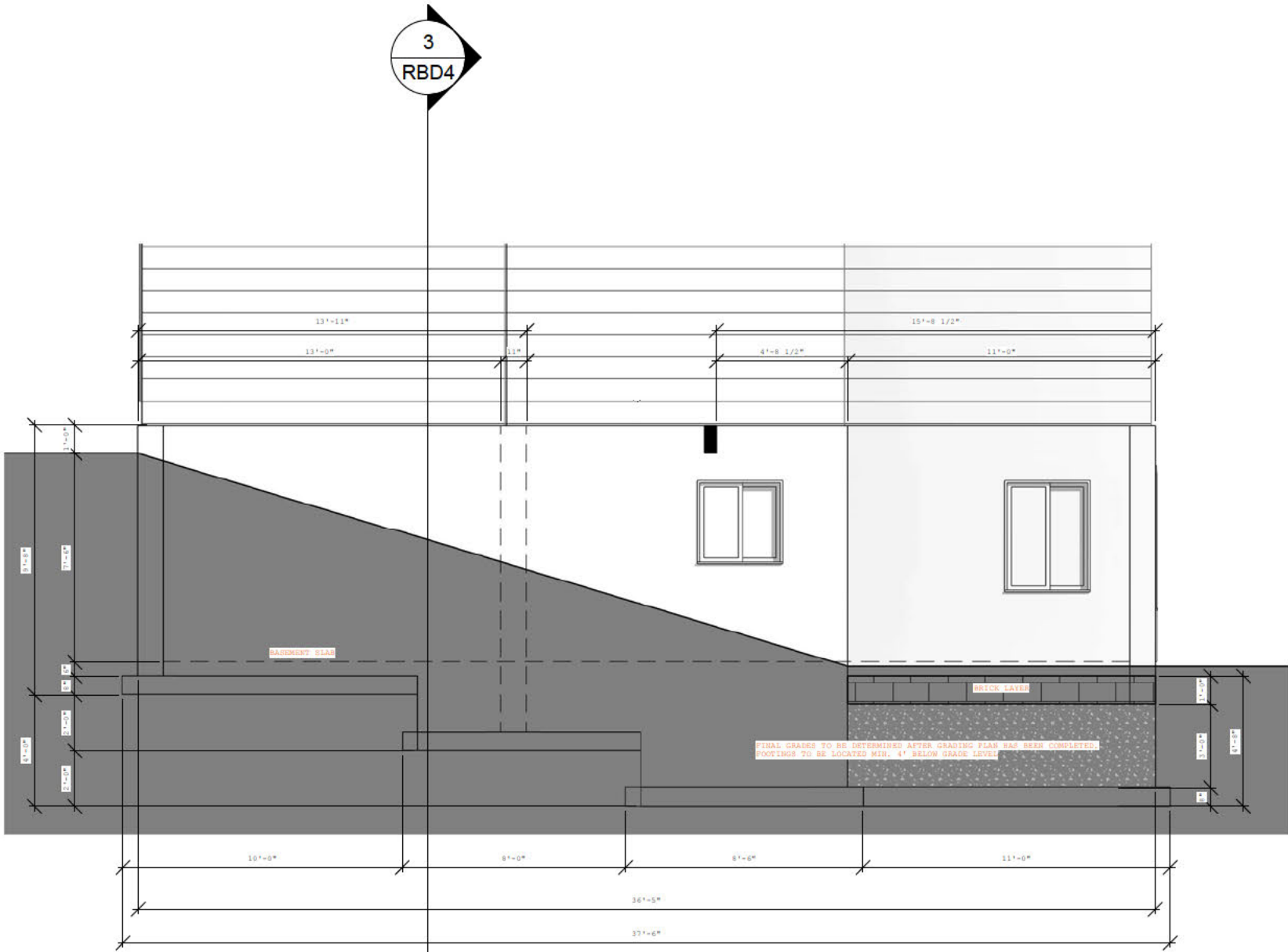
ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS



ADDRESS: N.W.1/4 SEC 26-7-2-5		CUSTOMER: DESABRAIS RES.		FIN. BSMT: 868	
TYPE: FOUNDATION	SCALE SEE PAGE	MAIN FLR Sq.Ft.: 1208		UNFINISHED BSMT: 341	
DATE: 2025 04 07	RENDITION: #2	UPPER FLR Sq.Ft.: 1008		GARAGE Sq.Ft.: 840	
MODEL:	DRAWN BY: GRO	TOTAL Sq.Ft.: 2216		JOB #: 2025-16	PAGE: 5/8



1 Elevation - East
3/16" = 1'-0"



2 Elevation - West
3/16" = 1'-0"

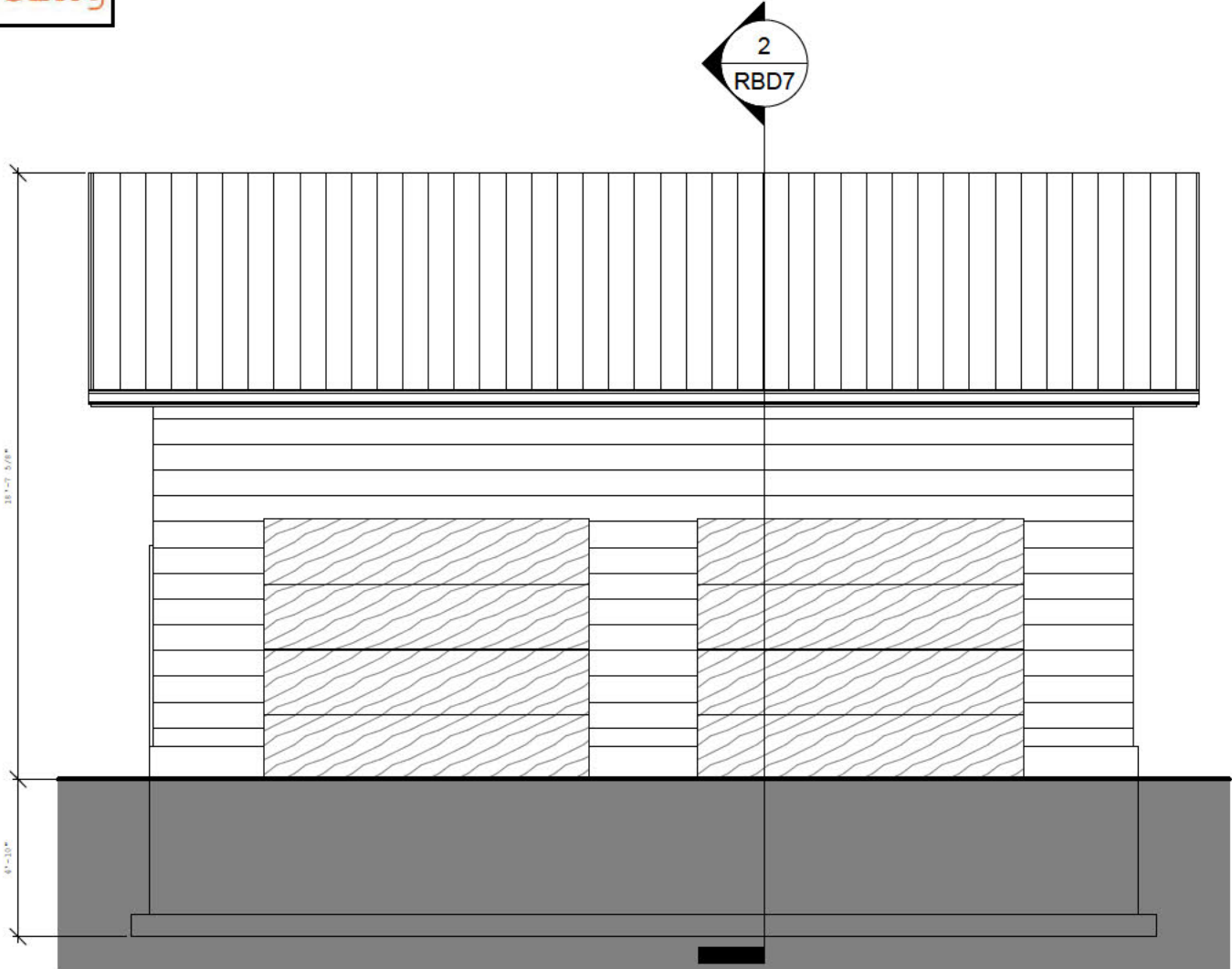
ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS

DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE, CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO ALBERTA BUILDING CODE SECTION 9.23.13 BRACING AND BONDING REQUIREMENTS AS PER CODE

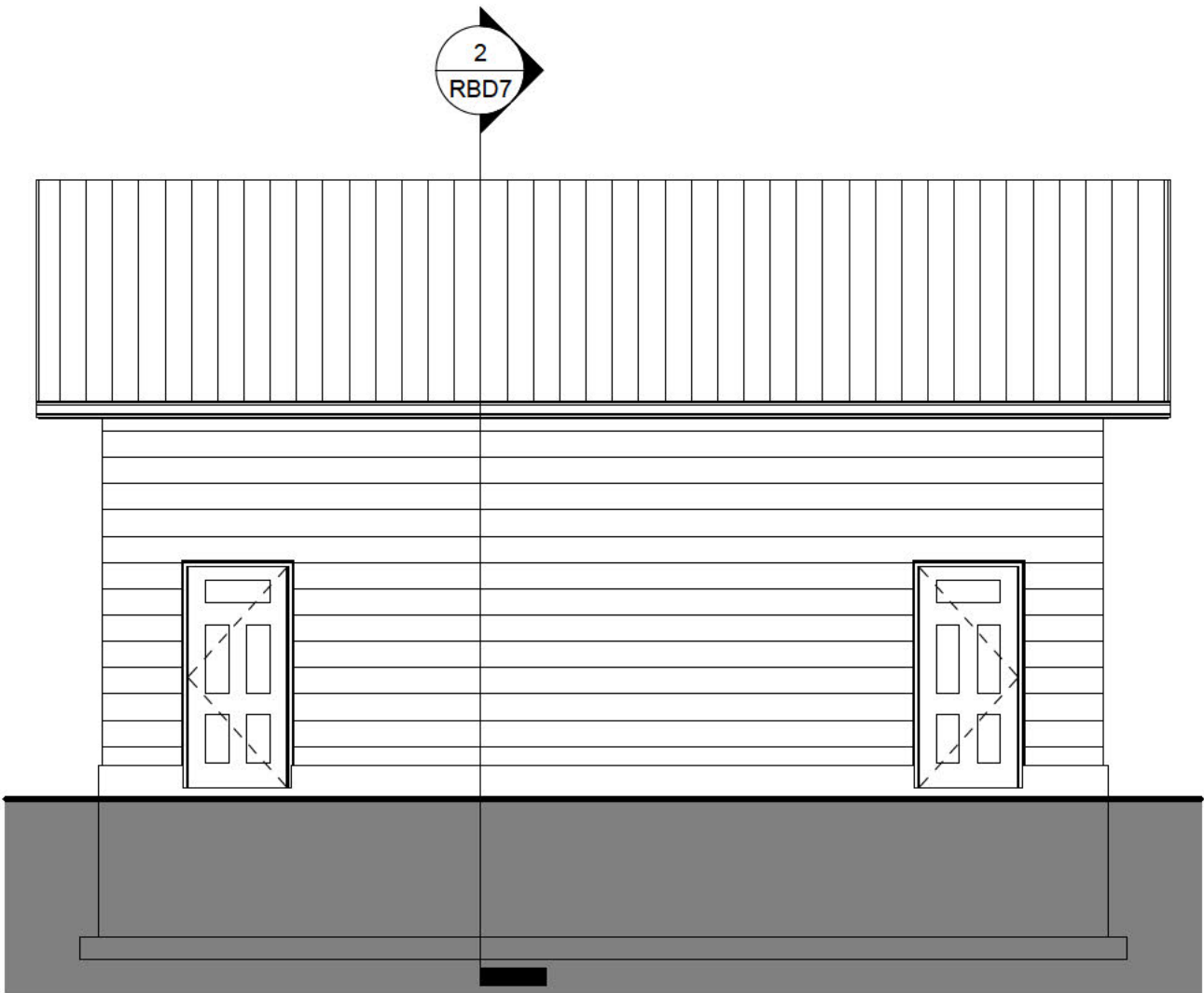
ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET ALBERTA BUILDING CODE



ADDRESS: N.W.1/4 SEC 26-7-2-5		CUSTOMER: DESABRAIS RES.	FIN. BSMT: 868
TYPE: FOUNDATION	SCALE SEE PAGE	MAIN FLR Sq.Ft.: 1208	UNFINISHED BSMT: 341
DATE: 2025 04 07	RENDITION: #2	UPPER FLR Sq.Ft.: 1008	GARAGE Sq.Ft.: 840
MODEL:	DRAWN BY: GRO	TOTAL Sq.Ft.: 2216	JOB #: 2025-16
			PAGE: 6/8



3 ELEVATION - GARAGE FRONT
3/16" = 1'-0"



1 ELEVATION - GARAGE REAR
3/16" = 1'-0"

ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS

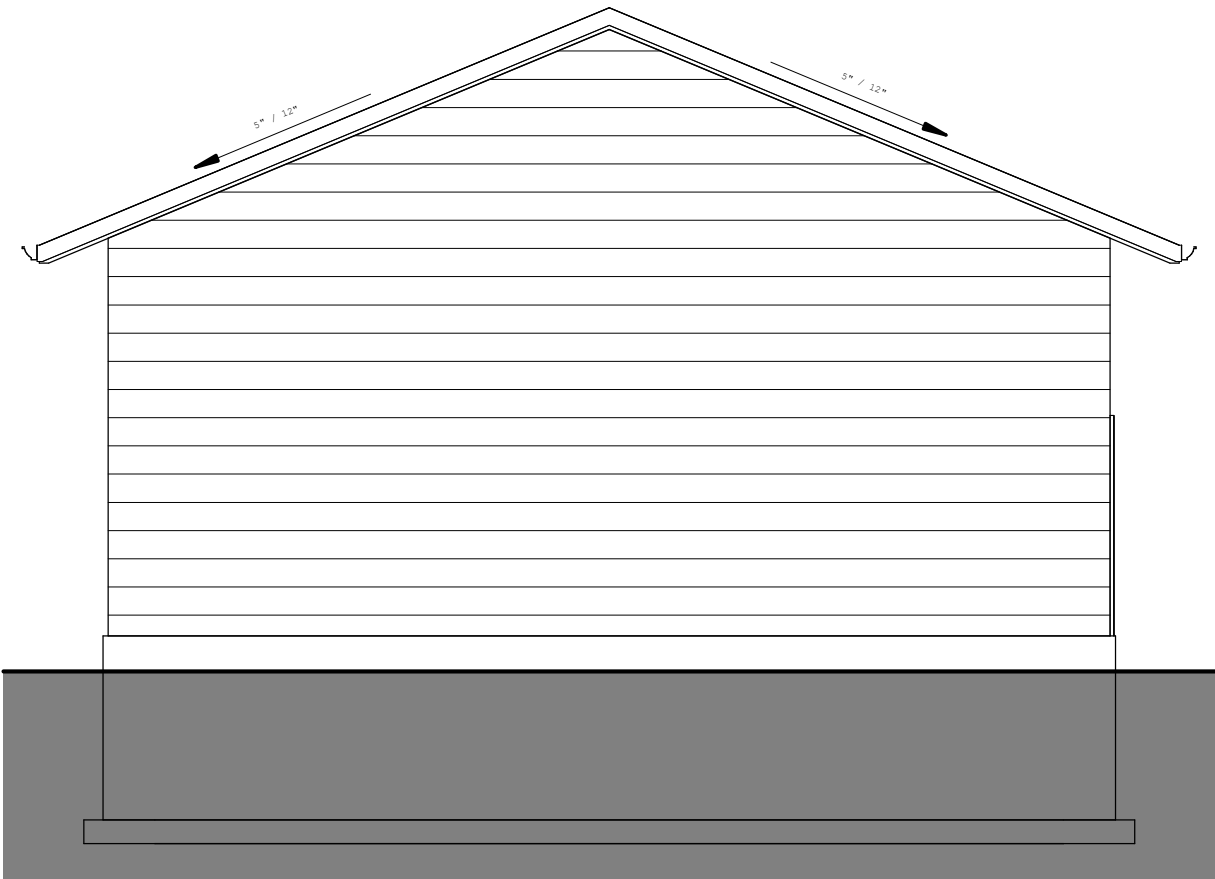
DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE. CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO ALBERTA BUILDING CODE SECTION 9.23.13 BRACING AND BONDING REQUIREMENTS AS PER CODE



ADDRESS: N.W.1/4 SEC 26-7-2-5		CUSTOMER: DESABRAIS RES.	FIN. BSMT: 868
TYPE: FOUNDATION	SCALE SEE PAGE	MAIN FLR Sq.Ft.: 1208	UNFINISHED BSMT: 341
DATE: 2025 04 07	RENDITION: #2	UPPER FLR Sq.Ft.: 1008	GARAGE Sq.Ft.: 840
MODEL:	DRAWN BY: GRO	TOTAL Sq.Ft.: 2216	JOB #: 2025-16
			PAGE: 7/8



1 ELEVATION - GARAGE LEFT
3/16" = 1'-0"

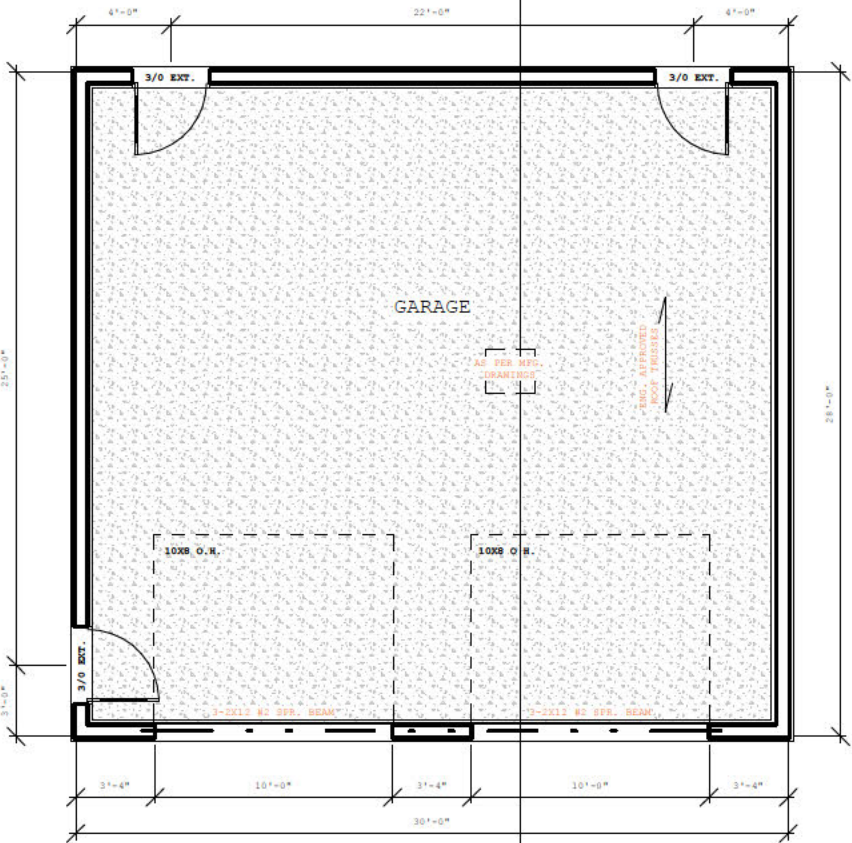


2 ELEVATION - GARAGE RIGHT
3/16" = 1'-0"

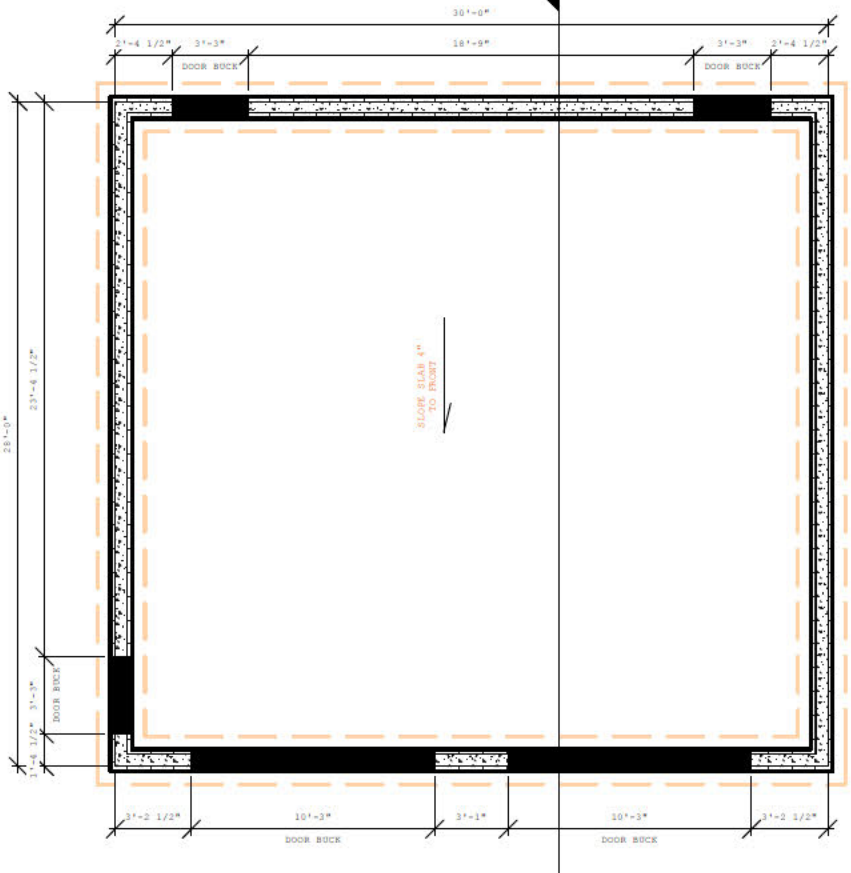
ALL ELEVATIONS ARE SUBJECT TO CHANGE ON SITE DUE TO GRADES, ARCH APPROVAL, ROOF LINES AND EXTERIOR FINISH/MATERIALS

DUE TO HIGH WIND PRESSURE WITHIN THE LOCATION OF THE BUILDING SITE, CONSTRUCTION METHODS AND REQUIREMENTS TO ADHERE TO ALBERTA BUILDING CODE SECTION 9.23.13 BRACING AND BONDING REQUIREMENTS AS PER CODE

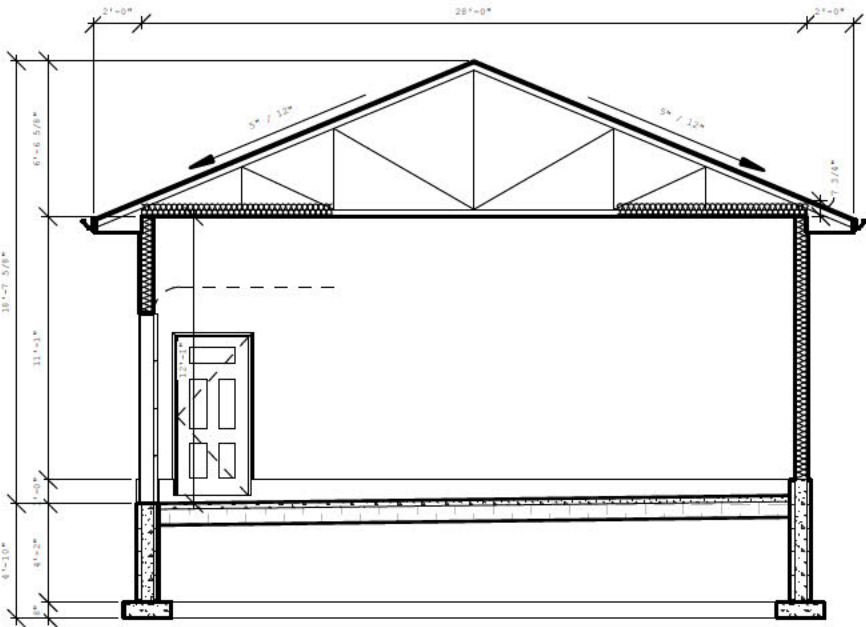
ALL WINDOWS AND DOOR FLASHING DETAILS TO MEET ALBERTA BUILDING CODE



1 GARAGE LAYOUT
1/8" = 1'-0"



3 GARAGE FOUNDATION
1/8" = 1'-0"



2 GARAGE SECTION
1/8" = 1'-0"

- NOTES:
- TRADES ARE RESPONSIBLE FOR CHECKING ALL DIMENSIONS & NOTES AND REPORTING ANY DISCREPANCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTER'S DEAFULT SPECS TO SUPERCEED ALL NOTES ON THE DRAWINGS
- ALL LOAD BEARING LINTELS TO BE 2-2x10 #2 SPRUCE UNLESS NOTED OTHERWISE.
 - FINAL EXTERIOR GRADES MAY VARY.
 - WINDOW AND DOOR SIZES SHOWN ARE APPROXIMATE ONLY. EXACT ROUGH OPENINGS TO BE SUPPLIED BY MANUFACTURER PRIOR TO CONSTRUCTION.
 - ATTIC ACCESS SHALL MEET MIN. DIMENSIONS AS PER ABC 9.19.2
 - ROOF SHALL BE VENTED WITH AN UNOBSTRUCTED VENT AREA OF NOT LESS THAN 1/300 OF THE INSULATED CEILING AREA AS PER A.B.C. 9.19.1
 - TRUSS MANUFACTURER TO PROVIDE TRUSS LAYOUT AND VERIFY ALL ROOF SLOPES.
 - TRUSSES ARE TO BE APPROVED BY AN ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA
 - ALL EXTERIOR WALLS WHERE MONO TRUSSES ARE ATTACHED SHALL BE SEALED & PAPERED BEFORE INSTALLING TRUSSES.
 - THE AREAS REQUIRING VENTILATION WITHIN THE ROOF SPACE OR ATTIC SHALL CONFORM TO ABC 9.19.1
 - CEILING BETWEEN HOUSE & GARAGE DRYWALLED, WALLS 1/2" DRYWALLED, VAPOUR BARRIERED & INSULATED.
 - WEEPING TILE BE DAMPROOFED AS PER ABC 9.13 AND 9.14
 - STEP FOOTING FOR WALKOUTS SHALL BE MAX. RISE 24" & MINIMUM HORIZONTAL DISTANCE OF 24" AS PER ABC 9.15.3.9
 - COMBUSTION AIR SHALL BE PROVIDED FOR FIREPLACE AS PER ABC 9.22.1.4
 - SMOKE ALARMS TO CONFORM TO ABC 9.10.19.3
 - MECHANICAL LAYOUT AND SPECS. SUPPLIED BY OTHERS.
 - EXACT LOCATION OF MECHANICAL, ELECTRICAL, AND PLUMBING EQUIPMENT SUBJECT TO CHANGE DUE TO SITE CONDITIONS.
 - KITCHEN LAYOUT IS APPROXIMATE ONLY. EXACT DIMENSIONS ARE SUPPLIED BY CABINET MANUFACTURER.

1 ROOF CONSTRUCTION

MATERIAL:	RSI
EXTERIOR AIR FILM	0.11
STANDING SEAM METAL ROOF/ASPHALT SHINGLES	0.08
1/2" PLYWOOD SHEATHING C/W 'H' CLIPS	0.12
AIR BARRIER	
ENGINEERED WOOD TRUSSES @24" O/C	2.34
AS PER MFR W/LOOSE FILL INSULATION	
13" LOOSE FILL INSULATION	6.19
6 MIL CSGB POLY VAPOUR	
1/2" REINF. DRYWALL	0.08
INTERIOR AIR FILM	0.03
TOTAL REQUIRED	8.95
	8.64

2 EXT. WALL CONSTRUCTION

MATERIAL:	RSI
EXTERIOR AIR FILM	0.03
EXTERIOR FINISH (AS PER BUILDER SPEC)	0.11
BUILDING PAPER (AS REQ'D)	0.00
2.5" RIGID INSULATION	1.65
AIR BARRIER	0.00
REINFORCED CONCRETE	0.06
2.5" RIGID INSULATION	1.65
1/2" DRYWALL	0.08
INTERIOR AIR FILM	0.11
TOTAL REQUIRED	3.69
	3.08

3 FLOOR CONSTRUCTION

FLOOR FINISH (AS PER BUILDERS SPEC)
3/8" PRO-BOARD IN LINO AREAS
23/32" T&G OSB SUBFLOOR (NAILED)
2X12 FLOOR JOISTS
PER MANUFACTURER'S LAYOUT
R-28 BATT INSULATION IN RIM JOISTS
1/2" DRYWALL (IN FINISHED AREAS)

4 BSMT WALL CONS.

MATERIAL:	RSI
EXTERIOR AIR FILM	0.03
EXTERIOR FINISH (AS PER BUILDER SPEC)	0.02
2.5" RIGID INSULATION	1.65
AIR BARRIER	0.00
REINFORCED CONCRETE	0.06
2.5" RIGID INSULATION	1.65
1/2" DRYWALL	0.08
INTERIOR AIR FILM	0.11
TOTAL REQUIRED	3.60
	2.98

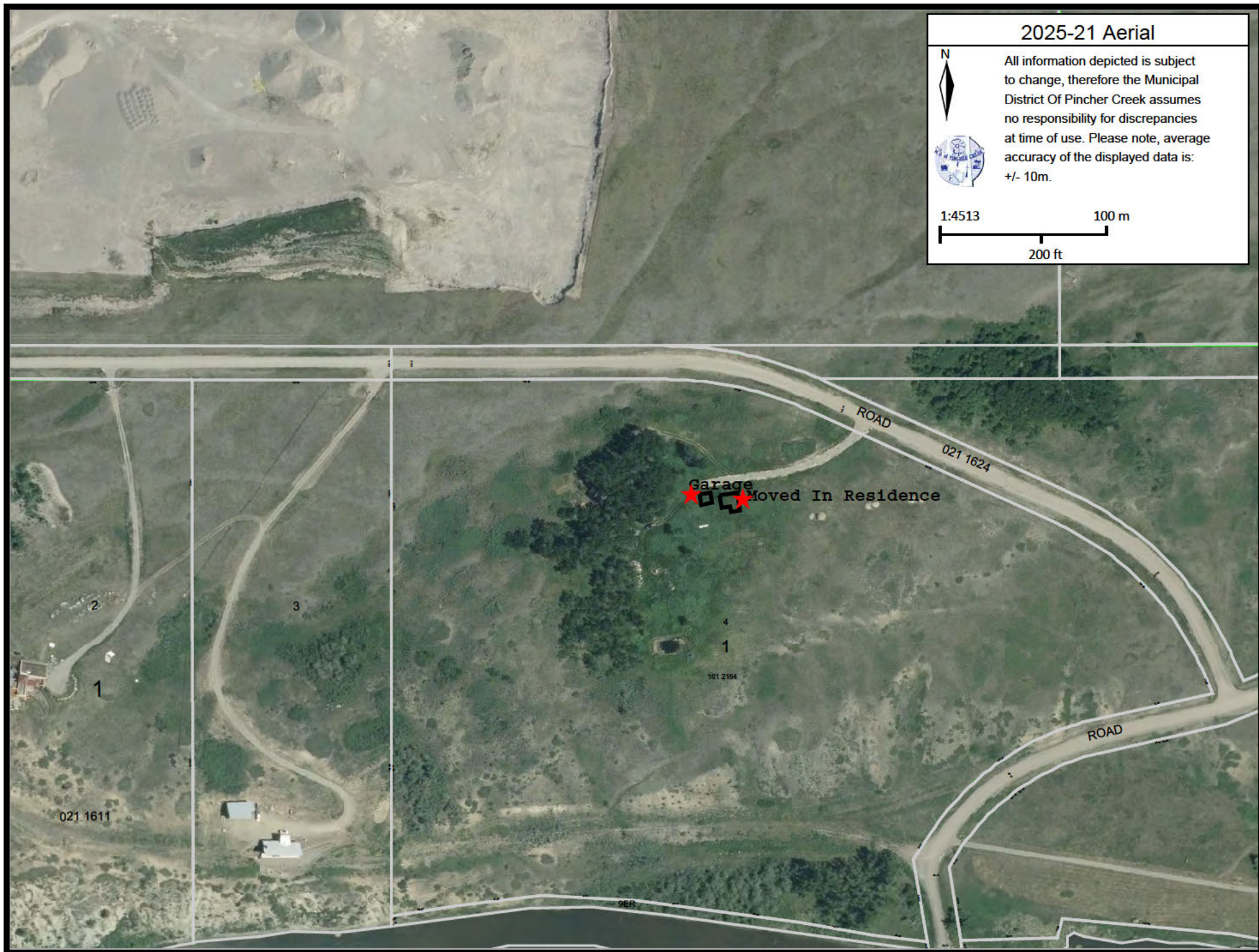
20"X 8" CONC. STRIP FTG.
W/ 2-10M BARS

5 BASEMENT FLOOR

3" CONC. SLAB
8" GRAVEL FILL

6 INT. PARTITIONS

1/2" DRYWALL
2X4" STUDS @ 24" O/C (2X6 WHERE NEEDED)
(ACOUSTIC INSULATION WHERE REQUESTED)
1/2" DRYWALL



2025-21 Aerial

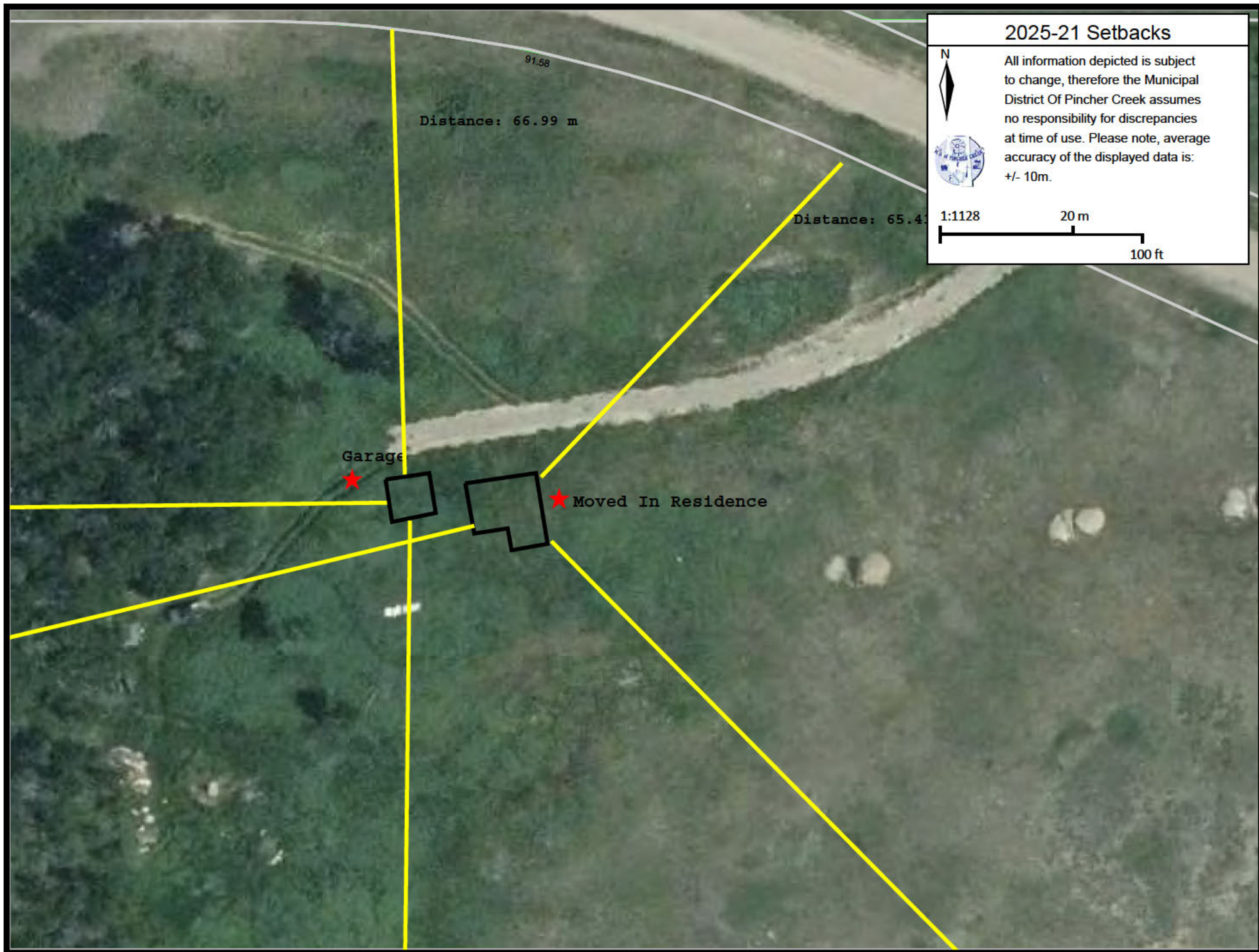


All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.

1:4513

100 m

200 ft



2025-21 Setbacks

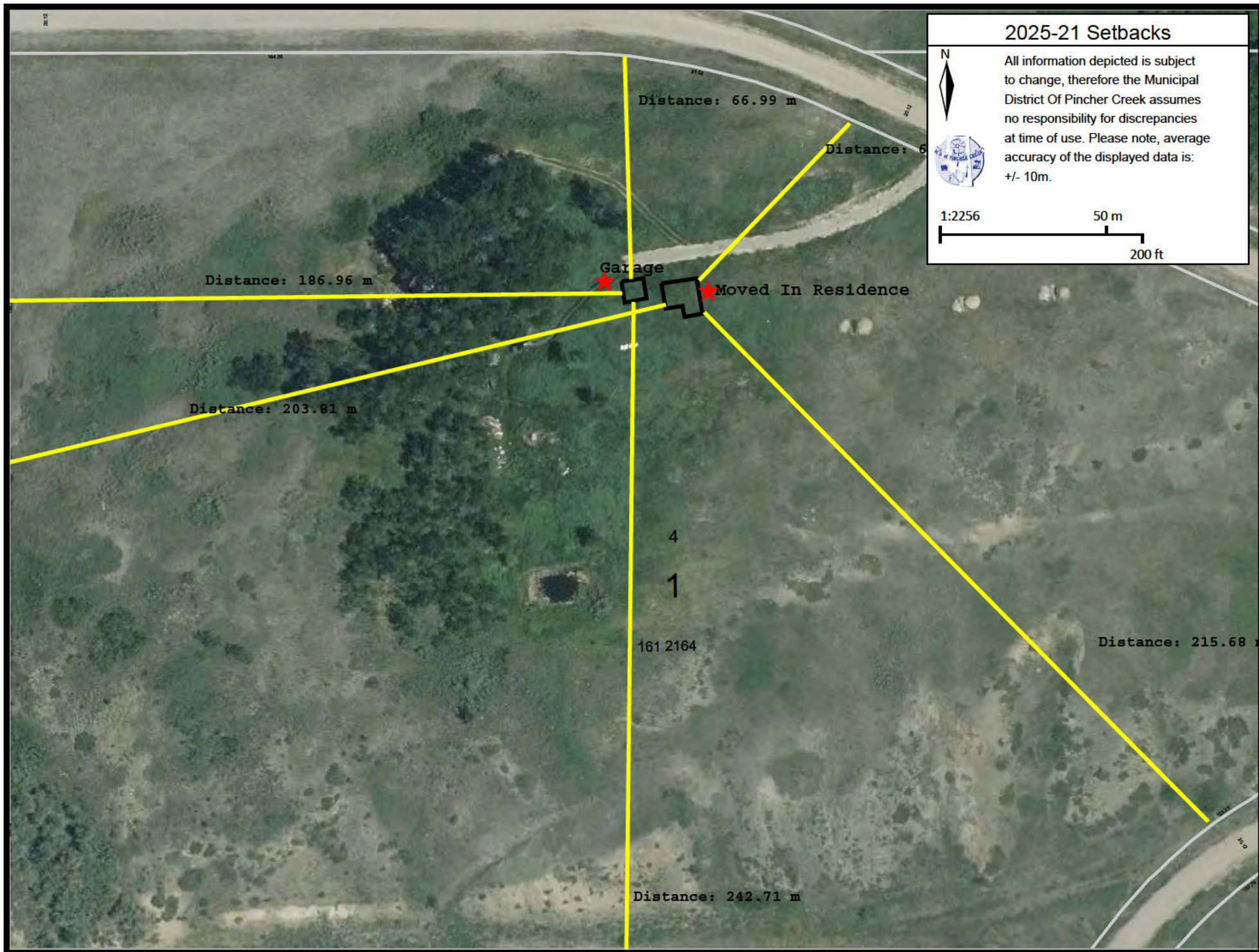


All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.

1:1128

20 m

100 ft



2025-21 Setbacks

All information depicted is subject to change, therefore the Municipal District Of Pincher Creek assumes no responsibility for discrepancies at time of use. Please note, average accuracy of the displayed data is: +/- 10m.



1:2256

50 m

200 ft

Distance: 66.99 m

Distance: 66.99 m

Distance: 186.96 m

Distance: 203.81 m

Garage

Moved In Residence

4

1

161 2164

Distance: 215.68 m

Distance: 242.71 m

Development Permit No. 2025-21

From John Knoeck <midl4k@telus.net>

Date Thu 2025-04-24 9:46 AM

To Laura McKinnon <AdminDevOfr@mdpincercreek.ab.ca>

Thank you for the information regarding this permit application. Other than a welcome to new neighbors, we have no comments for the MPC.

Jimmie & John Knoeck



Virus-free www.avg.com

DEVELOPMENT OFFICER REPORT

April 2025

Development / Community Services Activities include:

- Apr 1 Planning & MPC Meeting
- Apr 3 Motorola Weekly Meeting (Community Peace Officer)
- Apr 7 Lundbreck Inspection
- Apr 8 Committee & Council Meeting
- Apr 14 Ecological Connectivity Meeting – Miistakis Institute
- Apr 15 South Canadian Rockies Board Meeting
- Apr 15 Coffee with Council (Division 4)
- Apr 16 South Canadian Rockies Advisors Meeting – Municipal Event
- Apr 17 Motorola Weekly Meeting (Community Peace Officer)
- Apr 17 Consultant Update (Community Peace Officer)
- Apr 18/21 Easter Holidays
- Apr 22 Committee & Council Meeting
- Apr 22 Intermunicipal Development Plan Committee Meeting
- Apr 24 Administration Safety Meeting
- Apr 24 Emergency Management Training @ Town of Pincher Creek
- Apr 28-30 Community Planning Association of Alberta Conference
- May 1/2 Volunteer Days – Kananaskis Rodeo Association

PLANNING DEPARTMENT STATISTICS

Development Permits Issued by the Development Officer for April 2025

No.	Applicant	Division	Legal Address	Development
2025-15	Dave & Kathy Haight	5	Lot 5, Block 4, Plan 8610395 within NE 21-7-2 W5	Accessory Building
2025-18	Stone Developers (Millers)	3	Lot 53, Block 4, Plan 0512644 within CMR	Single Detached Residence
2025-22	Brad & Karla Cossins	3	Lot 1, Block 1, Plan 0810048 within NW 7-6-1 W5	Single Detached Residence
2025-23	Murray Sinnott	3	Lot 1, Block 1, Plan 1610329 within NW 1-7-1 W5	Single Detached Residence
2025-24	Mike & Leslie Van Rootselaar	3	Lot 9, Block 7, Plan 0813924 within Beaver Mines	Accessory Building

Development Permits Issued by Municipal Planning Commission April 2025

2025-13	Kelly Neufeld	4	Lot 1, Plan 9111843 within NE 2 & SE 11-8-1 W5	Secondary Farm Residence
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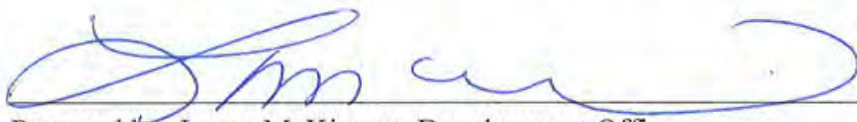
2025-14	Waldron Grazing Co-op	5	Secondary Farm Residence	Within NE 13-10-2 W5
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Development Statistics to Date

DESCRIPTION		2025 To date (Apr)	2024	2023	2022
Dev Permits Issued	7 – Apr	16 11 -DO 5 -MPC	54 38 -DO 16 -MPC	49 31 -DO 18 -MPC	48 29 – DO 19 - MPC
Dev Applications Accepted	9 – Apr	24	58	54	49
Utility Permits Issued	9 – Apr	18	23	35	12
Subdivision Applications Approved	0 – Apr	2	12	5	8
Rezoning	0 – Apr		1	0	5
DESCRIPTION		2025 to Date (Apr)	2024	2023	2022
Compliance Cert	1 – Apr	2	34	21	32

RECOMMENDATION:

That the report for the period ending May 2, 2025, be received as information.



Prepared by: Laura McKinnon, Development Officer

Date: May 1 2025

Respectfully Submitted to: Municipal Planning Commission